

AGENDA



PLANNING AND ZONING COMMISSION PUBLIC HEARING MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
APRIL 14, 2026 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

- (2) Approval of Minutes for the March 31, 2026 Planning and Zoning Commission meeting.

(3) **P2026-008 (HENRY LEE)**

Consider a request by Pat Atkins of KPA Consulting on behalf of Rockwall King 15, LLC for the approval of a Preliminary Plat for Phase 3 of the Saddle Star South Subdivision consisting of 26 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development 79 (PD-79) for Single-Family 10 (SF-10) District land uses, situated within SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located northeast of the intersection of Featherstone Drive and John King Boulevard, and take any action necessary.

(4) **P2026-011 (ANGELICA GUEVARA)**

Consider a request by Cristian Federciuc for the approval of a Replat for Lot 7 & 8 of the Davenport Acres Addition being a 6.00-acre parcel of land identified as Lot 3 of the Davenport Acres Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 211 Howell Road, and take any action necessary.

(5) **P2026-012 (BETHANY ROSS)**

Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Erwin Farms SF, LTD for the approval of a Final Plat for Erwin Farms Subdivision consisting of 123 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) for Single-Family 10 (SF-10) District land uses, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

(6) **SP2026-009 (ANGELICA GUEVARA)**

Discuss and consider a request by Aaron C. Hawkins of Quiddity Engineering on behalf of Matt McCulloch of Raising Cane's for the for the approval of a Site Plan for an existing *Restaurant, Greater Than 2,000 SF, with Drive-Through or Drive-In* on a 2.951-acre parcel of land identified as Lot 3, Block 1, Rockwall Centre Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30 Corridor Overlay (IH-30 OV) District, addressed as 1114 E. IH-30, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(7) **Z2026-011 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Grant Young of Big-Tex Trailers on behalf of Raymond Jowers of Jowers, Inc. for the approval of a Specific Use Permit (SUP) amending Ordinance No. 20-01 and allowing outside storage adjacent to IH-30 on a 4.4317-acre tract of land identified as Tract 22-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2260 E. IH-30, and take any action necessary.

(8) **Z2026-013 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Kenton Creekmore of Sumeer Homes on behalf of Suresh Shridharani for the approval of a Zoning Change amending the Development Standards contained in Planned Development District 76 (PD-76) [Ordinance No. 14-50] for the Emerson Farms Subdivision being a 138.79-acre tract of land situated within the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 76 (PD-76) for Single-Family 1 (SF-1) District land uses, generally located on the east side of Dowell Road south of the intersection of SH-276 and Dowell Road, and take any action necessary.

(9) **Z2026-014 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Kris Sharp of 5 Sharp Real Estate, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [Ordinance No. 25-12] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

(10) **Z2026-012 (RYAN MILLER)**

Hold a public hearing to discuss and consider a Text Amendment to Section 10, Fee Schedule, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) for the purpose of amending the Fee Schedule to update the City's development related application fees, and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(11) **SP2026-010 (HENRY LEE)**

Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a General Retail Building on a 1.412-acre tract of land identified as Lots 15 & 16, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Sh-205 Corridor Overlay (SH-205 OV) District, addressed as 4853 S. Goliad Street [SH-205], and take any action necessary.

(12) **SP2026-008 (BETHANY ROSS) [THE APPLICANT HAS TABLED THIS CASE TO APRIL 28, 2026]**

Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Erwin Farms SF, LTD for the approval of a Site Plan for Erwin Farms Subdivision consisting of 123 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) for Single-Family 10 (SF-10) District land uses, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

(13) **P2026-009 (HENRY LEE) [THE APPLICANT HAS TABLED THIS CASE TO APRIL 28, 2026]**

Discuss and consider a request by Mitchell Mulholland of Cross Engineering Consultants, Inc. on behalf of Kris Ramji of Providence Village Neighborhood Shops on 380 by Slate, LLC and SV Rockwall, LLC for the approval of a Preliminary Plat for Lots 1-5, Block A, Rockwall Neighborhood Shops Addition being an 11.836-acre tract of land identified as Tract 5-3 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay (SH-276 OV) District, located at the southeast corner of the intersection of John King Boulevard and SH-276, and take any action necessary.

(VII) **DISCUSSION ITEMS**

(14) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2026-007: Replat for Lot 9, Block A, Maverick Ranch Addition **(APPROVED)**
- P2026-010: Replat for Lot 3, Block A, Rockwall Technology Park, Phase IV Addition **(APPROVED)**

- Z2026-004: Specific Use Permit (SUP) for a *Detached Garage* at 1982 Sterling Court (**2ND READING; APPROVED**)
- Z2026-006: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 2592 FM-549 (**2ND READING; APPROVED**)
- Z2026-007: Zoning Change from Agricultural (AG) and Light Industrial (LI) District to a Planned Development District for Limited Commercial (C) and Light Industrial (LI) District Land Uses (**2ND READING; APPROVED**)
- Z2026-008: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 213 S. Clark Street (**1ST READING; APPROVED**)

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on April 8, 2026 at 5:00 PM, and remained so posted for at least three (3) business days preceding the scheduled time of said meeting.

MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
MARCH 31, 2026 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),
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4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

5 6 I. CALL TO ORDER

7
8 **Chairman Dr. Jean Conway called the meeting to order at 6:00PM. Commissioners present were Vice-Chairman John Hagaman, Carin Brock, Ellis
9 Bentley, Douglas Roth and David Schoen. Staff members present were Director of Planning and Zoning Ryan Miller, Senior Planner Henry Lee.
10 Senior Planner Bethany Ross, Planning Technician Angelica Guevara, Planning Coordinator Melanie Zavala. City Engineer Amy Williams and Civil
11 Engineer Madelyn Price. Staff absent were Assistant City Engineer Jonathan Browning.**

12 13 II. APPOINTMENTS

14
15 **1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments
16 for items on the agenda requiring architectural review.**

17
18 **A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural
19 Review Board meeting.**

20 21 III. OPEN FORUM

22
23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the
24 policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN
25 FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings
26 Act.*

27
28 **Chairman Dr. Conway explained how open forum is conducted and asked if anyone who wished to speak to come forward at this time; there being
29 no one indicating such Chairman Dr. Conway closed the open forum.**

30 31 IV. CONSENT AGENDA

32
33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)
34 and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

35
36 **2. Approval of the Minutes for the March 10, 2026 Planning and Zoning Commission meeting.**

37 38 **3. P2026-007 (ANGELICA GUEVARA)**

39 Consider a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Kevin Lloyd of 1800 Dalrock, LLC for the approval of a Replat for Lot 9,
40 Block A, Maverick Ranch Addition being a 1.55-acre tract of land identified as Lot 7, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County,
41 Texas, zoned Commercial (C) District, addressed as 194-224 Ranch Trail, and take any action necessary.

42 43 **4. P2026-010 (BETHANY ROSS)**

44 Consider a request by Chet Leugers of Westwood Professional Services on behalf of Brian LaMont of STAG Rockwall, LP for the approval of a Replat for Lot
45 3, Block A, Rockwall Technology Park, Phase IV Addition being a 41.018-acre tract of land identified as Lot 1, Block A, Rockwall Technology Park, Phase IV
46 Addition and Tract 1 of the J. H. B. Jones Survey, Abstract 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as
47 3400 Discovery Boulevard, and take any action necessary.

48
49 **Commissioner Schoen made a motion to approve the Consent Agenda. Commissioner Roth seconded the motion which passed by a vote of 7-0.**

50 51 V. ACTION ITEMS

52
53 *These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special
54 exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

55 56 **5. MIS2026-004 (BETHANY ROSS)**

57 Discuss and consider a request by Will Karbaum for the approval of a Miscellaneous Case for an Exception for a Front Yard Fence on a 0.119-acre parcel of
58 land identified as Lot 11-B of Lakeside Village #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 2 (PD-2) for single-
59 family attached, addressed as 3510 Lakeside Drive, and take any action necessary.

60 **Senior Planner Bethany Ross provided a brief summary in regard to the applicants request. The applicant is requesting a 42-inch wrought iron fence
61 in their front yard fence about 8-feet in front of the front façade of their home. The Unified Development Code (UDC) states that no fence shall be
62 constructed within the front yard of the residential property without being granted an exception from the Planning and Zoning commission. When
63 staff reviews these exceptions, the commission should look at the criteria of the fence being 50% transparent . The fence does not exceed 42 inches**

64 in height and opaque fences shall be prohibited. In this case the proposed front yard fence meets all the requirements. Staff has also reviewed fences
65 within the subdivision and it seems as there are two front yard fences within this subdivision.
66

67 Will Karbaum
68 3510 Lakeside Drive
69 Rockwall, TX 75087
70

71 Mr. Karbaum came forward and provided details in regard to his request.
72

73 Commissioner Roth asked if the picture provided is that if the fence is existing or an example.
74

75 Commissioner Schoen asked if there were already front yard fences in the area.
76

77 Vice-Chairman Hagaman made a motion to approve MIS2026-004. Commissioner Brock seconded the motion which passed by a vote of 7-0.
78

79 **6. SP2026-005 (ANGELICA GUEVARA)**

80 Discuss and consider a request by Holly Marshall for the approval of a Site Plan for a *Restaurant with Less Than 2,000 SF with Drive-Through or Drive-In* on a
81 0.3480-acre tract of land identified as Lots 10 & 11 of the Canup Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated
82 within the SH-205 Overlay (SH-205 OV) District, addressed as 1011 S. Goliad Street [SH-205], and take any action necessary.
83

84 Planning Technician Angelica Guevara provided a brief summary in regard to the applicants request. The applicant is requesting approval of a site
85 plan for a restaurant with less than 2,000 SF with drive-through or drive-in. The proposed development is permitted within the commercial district
86 with a Specific Use Permit (SUP) which was previously approved by City Council on February 2nd. Overall the submitted plans generally comply with
87 the requirements of the Unified Development Code (UDC). The project is also consistent with the future land use plan outlined in the comprehensive
88 plan, which at the site located within the downtown district and designated for commercial retail uses where restaurants are considered a primary
89 and appropriate land use. While the project generally makes no standards, the following variances and exceptions are associated with the request.
90 Articulation, Cementitious material, lighting standards and light at non-residential property line. The code requires that the applicant provide two
91 compensatory measures for each variants or exceptions that is requested and based on the submitted materials, the applicants request would
92 require eight compensatory measures . The applicant has not yet proposed compensatory measures. It is important to note that the replacement
93 elevations have already been approved by both the ARB and through the SUP ordinance. If this were to get approved staff would propose the
94 following conditions of approval, the subject property will be re-plated and additional screening should be required along the northern property line
95 adjacent to the proposed drive-through and an updated landscape plan will be required.
96

97 Caleb Cathey
98 10820 CR 2452
99 Terrell, TX 75160
100

101 Mr. Cathey came forward and explained he had been working with staff to address comments.
102

103 Commissioner Brock asked why they need a variance for their lighting standards.
104

105 Director of Planning and Zoning Ryan Miller explained to the applicant that they currently have a 25 feet pole but if they change it to 20 feet pole they
106 will meet that since it will decrease the variances.
107

108 Vice-Chairman Hagaman made a motion to approve SP2026-005 if they lower the light pole to 20-feet. Commissioner Bentley seconded the motion
109 which passed by a vote of 7-0.
110

111 **7. SP2026-007 (BETHANY ROSS)**

112 Discuss and consider a request by Patrick Espinoza of JCK Commercial, Inc. on behalf of Vache Ourfalian for the approval of a Site Plan to convert a single-
113 family home into an office building on a 0.88-acre tract of land identified as Lot 4 of the Greenvally Addition and a portion of Tract 22 of the H. B. Jones Survey,
114 Abstract No. 124, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 69 (PD-69) for Residential-Office (RO) District, situated within
115 the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1209 N. Goliad Street [SH-205], and take any action necessary.
116

117 Senior Planner Bethany Ross provided a brief summary in regard to the applicant's request. A bit of background, a couple years ago a site plan was
118 approved on May 9th, 2023. It is the same request they're proposing at this time. It did expire within the last year and subsequently the building
119 permit expired as well. The applicant is bringing back the same site plan to get it re-approved. There will also be conditions of approval from the last
120 time and the exceptions that were granted in 2023. One of the conditions of approval is that the applicant remove the accessory structures on the
121 property and remove the circle drive as well.
122

123 Patrick Espinoza
124 6824 S FM 549
125 Rockwall, TX 75032
126

127 Mr. Espinoza came forward and provided additional details in regards to his request.
128

129 Vice-Chairman Hagaman asked if the circle drive was being removed.
130

131 Commissioner Schoen asked if there is an easement in the back of the property.

132
133 Commissioner Schoen made a motion to approve SP2026-007. Commissioner Bentley seconded the motion which passed by a vote of 7-0.
134

135 VI. DISCUSSION ITEMS
136

137 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*
138 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*
139 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*
140 *following cases is April 14, 2026.*
141

142 **8. Z2026-011 (HENRY LEE)**

143 Hold a public hearing to discuss and consider a request by Grant Young of Big-Tex Trailers on behalf of Raymond Jowers of Jowers, Inc. for the approval of a
144 Specific Use Permit (SUP) amending Ordinance No. 20-01 and allowing outside storage adjacent to IH-30 on a 4.4317-acre tract of land identified as Tract 22-
145 01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-
146 30 OV) District, addressed as 2260 E. IH-30, and take any action necessary.
147

148 **Dub Douphrate**
149 **2235 Ridge Road**
150 **Suite 200**
151 **Rockwall, TX 75087**
152

153 Mr. Douphrate came forward and provided additional details in regards to his request.
154

155 Senior Planner Henry Lee provided a summary in regards to the applicants request. Explained this has been an ongoing Specific Use Permit (SUP)
156 case. It was originally approved in 2008 and it was to allow RV sales and service facility. At that time the condition of approval for the SUP said it
157 would be valid for three years, commencing the date of certificate of occupancy. That the owner can petition to extend this SUP request. Since then
158 it has been extended five times. In addition, part of the SUP ordinance had some operational conditions, being that the outside storage and semi
159 tractors and trailers were prohibited. They essentially could store without having to do the necessary improvements. In addition, the temporary
160 waiver to the engineering and fire development standards particularly related to a water line from 549.
161

162 Chairman Dr. Conway asked about their landscape.
163

164 Commissioner Schoen asked if this gets granted it will remove this having to comeback for a SUP.
165

166 Vice-Chairman Hagaman asked if there could be a timeline.
167

168 Commissioner Roth asked if this is the best use long-term.
169

170 Commissioner Brock asked what they can do to get it enforced.
171

172 Commissioner Schoen asked he would like the applicant to comeback, but it be sooner then they're proposing.
173

174 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on April 14, 2026.
175

176 **9. Z2026-012 (RYAN MILLER)**

177 Hold a public hearing to discuss and consider a Text Amendment to Section 10, Fee Schedule, of Article 11, Development Applications and Review Procedures,
178 of the Unified Development Code (UDC) for the purpose of amending the Fee Schedule to update the City's development related application fees, and take any
179 action necessary.
180

181 Director of Planning and Zoning Ryan Miller provided a summary of the applicant's request, explaining that the city last amended its fee schedule in
182 2005, when postage cost \$0.37 compared to \$0.78 today, and current fees no longer cover mailing costs or staff time, which application fees are
183 intended to recoup; the proposed update adjusts fees across the board and introduces a few new ones, based on comparisons with several peer
184 cities our fees are significantly lower, with the goal not to be the most expensive but to establish reasonable rates that recover review costs; examples
185 were provided, including a 10-acre residential development with 20 lots, to show how other cities calculate complex, scaled fees and to demonstrate
186 that the proposed fees fall near the middle range while offering a clearer, more uniform structure; platting fees would be standardized at \$500 plus
187 \$20 per acre for all plat types since the review process is largely consistent, site plan fees would increase to \$1,000 due to their complexity and
188 increased staff time, amended site plans would be \$500, and zoning requests would rise to \$1,000 plus \$20 per acre; specific use permits would be
189 split, maintaining a \$200 base fee for residential applications with an increase to \$20 per acre to cover higher mailing costs, while commercial permits
190 would increase to \$1,000 due to greater review demands; planned development district fees would increase from \$200 to \$1,500 plus \$20 per acre to
191 reflect the intensive work required to draft zoning ordinances, though still remaining lower than many comparison cities; variance, special exception,
192 and special request fees would remain \$200 for residential cases but increase to \$1,000 for commercial cases to reflect staff time and discourage
193 after-the-fact requests; zoning verification letters would increase from \$25 to \$100 to better recover staff costs; a new \$500 landscape inspection fee
194 would apply starting with the third inspection attempt to address repeated site visits; Board of Adjustment fees would remain unchanged as they
195 are mostly residential and primarily cover mailing costs; and the unpermitted structure fee would increase significantly from \$1,000 to \$2,500 to
196 better serve as a deterrent rather than being treated as a routine cost of doing business.
197

198 Commissioner Bentley asked if this would affect a building permit.
199

200 Commissioner Roth asked which was the fee that took the longest to agree on.

201
202 Vice-Chairman Hagaman asked if they could set a flat fee for mailing.

203
204 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on April 14, 2026.

205
206 10. Z2026-013 (HENRY LEE)

207 Hold a public hearing to discuss and consider a request by Kenton Creekmore of Sumeer Homes on behalf of Suresh Shridharani for the approval of a Zoning
208 Change amending the Development Standards contained in Planned Development District 76 (PD-76) [Ordinance No. 14-50] for the Emerson Farms Subdivision
209 being a 138.79-acre tract of land situated within the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas, zoned Planned Development
210 District 76 (PD-76) for Single-Family 1 (SF-1) District land uses, generally located on the east side of Dowell Road south of the intersection of SH-276 and
211 Dowell Road, and take any action necessary.

212
213 Keaton Creekmore
214 2404 Texas Drive
215 Suite 103
216 Irving, TX 75062

217
218 Mr. Creekmore came forward and expressed they are trying to configure the garage orientations.

219
220 Senior Planner Henry Lee explained that staff's proposed changes differ slightly from the applicant's request and are intended to better align with
221 current planned development standards; staff clarified that parking requirements must include a minimum two-car garage plus two off-street spaces
222 in the driveway, and added a five-foot setback from the side property line for side-entry garages to prevent adjacent driveways from directly abutting
223 each other.

224
225 Mr. Bentley asked how big lot sizes were and if they were septic.

226
227 Commissioner Schoen mentioned what the price point was.

228
229 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on April 14, 2026.

230
231 11. Z2026-014 (HENRY LEE)

232 Hold a public hearing to discuss and consider a request by Kris Sharp of 5 Sharp Real Estate, LLC for the approval of a Zoning Change to amend Planned
233 Development District 46 (PD-46) [Ordinance No. 25-12] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of
234 Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay
235 (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

236
237 Senior Planner Henry Lee provided a summary of the applicant's request, explaining that Planned Development District 46, located between Springer
238 and 276 near Corporate and Data, is zoned commercial but includes previously approved nonconforming uses from the time of annexation, including
239 warehousing on tract 12; the applicant originally received site plan approval in 2022 for an office warehouse building, but has since changed
240 operations and is now requesting to allow outdoor storage on the property, which has already been installed without proper approvals; the property
241 has a history with the Board, as the applicant previously constructed a fence without a permit and later obtained a variance after being cited by a
242 building inspector; additionally, construction activity stalled in September 2024, delaying final inspection and issuance of a certificate of occupancy,
243 though the applicant completed permitting in early February and received final approval and a CO for the office warehouse use; the current request
244 is to formally allow the existing outdoor storage, and if approved, the applicant would still be required to submit a site plan showing the storage
245 area, provide appropriate screening, and maintain all required parking, meaning any storage located in required parking areas would need to be
246 removed.

247
248 Commissioner Schoen explained there is no parking because of their outside storage.

249
250 Commissioner Brock wanted to understand the business needs and how it would conform to the parking requirements. Also, would want to know
251 why it has also been a fight and why it has been the process that it has been.

252
253 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on April 14, 2026.

254
255 12. P2026-008 (HENRY LEE)

256 Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Rockwall King 15, LLC for the approval of a Preliminary Plat for Phase 3 of the
257 Saddle Star South Subdivision consisting of 26 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey,
258 Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development 79 (PD-79) for Single-Family 10 (SF-10) District land uses, situated
259 within SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located northeast of the intersection of Featherstone Drive and John King Boulevard, and
260 take any action necessary.

261
262 Senior Planner Henry Lee explained this is on the agenda since it will need to go to parks board and will comeback on April 14, 2026, on the Consent
263 Agenda.

264
265 Pat Atkins
266 614 Summer Oaks
267

268 Rockwall, TX 75032

269

270 Mr. Atkins came forward and explained he had been working with staff on comments.

271

272 13. P2026-009 (HENRY LEE)

273 Discuss and consider a request by Mitchell Mulholland of Cross Engineering Consultants, Inc. on behalf of Kris Ramji of Providence Village Neighborhood Shops
274 on 380 by Slate, LLC and SV Rockwall, LLC for the approval of a Preliminary Plat for Lots 1-5, Block A, Rockwall Neighborhood Shops Addition being an 11.836-
275 acre tract of land identified as Tract 5-3 of the W. H. Baird Survey, Abstract No. 25, City of Rockwall, Rockwall County, Texas, zoned Planned Development
276 District 45 (PD-45) for General Retail (GR) District land uses, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the SH-276 Overlay
277 (SH-276 OV) District, located at the southeast corner of the intersection of John King Boulevard and SH-276, and take any action necessary.

278

279 Senior Planner Henry Lee explained they have changed their lot configuration over time. They did provide a concept plan, landscape plan and utility
280 plan. Staff did provide preliminary comments. Staff had several issues with overhead power and their location of parking spaces and their drive-
281 through being to close to the residential and the landscaping not being at the rear of the property. Will be on the Consent Agenda on April 14, 2026.

282

283 14. P2026-011 (ANGELICA GUEVARA)

284 Discuss and consider a request by Cristian Federiciuc for the approval of a Replat for Lot 7 & 8 of the Davenport Acres Addition being a 6.00-acre parcel of land
285 identified as Lot 3 of the Davenport Acres Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall,
286 addressed as 211 Howell Road, and take any action necessary.

287

288 Planning Technician Angelica Guevara explained this is on the agenda since it is in the ETJ it needs to be reviewed by Rockwall County. Will come
289 back on April 14, 2026, on the Consent Agenda.

290

291 15. P2026-012 (BETHANY ROSS)

292 Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Erwin Farms SF, LTD for the approval of a Final Plat
293 for Erwin Farms Subdivision consisting of 123 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract
294 No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) for Single-Family 10 (SF-10) District land uses, generally
295 located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

296

297 Senior Planner Bethany Ross explained this is on the agenda since it will need to go to parks board and will come back on April 14, 2026, on the
298 Consent Agenda.

299

300 16. SP2026-008 (BETHANY ROSS)

301 Discuss and consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Erwin Farms SF, LTD for the approval of a Site Plan for
302 Erwin Farms Subdivision consisting of 123 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No.
303 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) for Single-Family 10 (SF-10) District land uses, generally
304 located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

305

306 Senior Planner Bethany Ross provided a summary regarding the applicant's request. The applicant will need to go to parks board and wanted to get
307 on the record that the provided monument signage that the applicant has provided does not match with the exhibit they had provided with their
308 zoning and staff did talk to the applicant and they are addressing their monument sign to meet the zoning ordinance.

309

310 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on April 14, 2026.

311

312 17. SP2026-009 (ANGELICA GUEVARA)

313 Discuss and consider a request by Aaron C. Hawkins of Quiddity Engineering on behalf of Matt McCulloch of Raising Cane's for the for the approval of a Site
314 Plan for an existing Restaurant, Greater Than 2,000 SF, with Drive-Through or Drive-In on a 2.951-acre parcel of land identified as Lot 3, Block 1, Rockwall
315 Centre Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30
316 Corridor Overlay (IH-30 OV) District, addressed as 1114 E. IH-30, and take any action necessary.

317

318 Billy Plumber

319 6943 Clayton Avenue

320 Dallas, TX 75214

321

322 Mr. Plumber came forward and expressed their adding a second drive through lane.

323

324 Commissioner Schoen asked how this would alleviate traffic.

325

326 Commissioner Hilliard asked what expectations should be in regards to the traffic.

327

328 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on April 14, 2026.

329

330 18. SP2026-010 (HENRY LEE)

331 Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of
332 a Site Plan for a General Retail Building on a 1.412-acre tract of land identified as Lots 15 & 16, Block A, Creekside Commons Addition, City of Rockwall,
333 Rockwall County, Texas, zoned Commercial (C) District, situated within the Sh-205 Corridor Overlay (SH-205 OV) District, addressed as 4853 S. Goliad Street
334 [SH-205], and take any action necessary.

335

336 Michael Hampton
337 10755 Sandhill Road
338 Dallas, TX 75238
339

340 Mr. Hampton came forward and expressed they have been working with staff to address comments.
341

342 Commissioner Roth asked how close they were to closing it out.
343

344 Vice-Chairman Hagaman asked if the materials would match with the surrounding structures.
345

346 Chairman Dr. Conway advised that this item will come back before the commission for discussion or action on April 14, 2026.
347

348 19. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
349

- 350 • Z2026-002: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 214 Blanche Drive (2ND READING; APPROVED)
- 351 • Z2026-004: Specific Use Permit (SUP) for a *Detached Garage* at 1982 Sterling Court (1ST READING; APPROVED)
- 352 • Z2026-006: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 2592 FM-549 (1ST READING; APPROVED)
- 353 • Z2026-007: Zoning Change from Agricultural (AG) and Light Industrial (LI) District to a Planned Development District for Limited Commercial (C) and Light
354 Industrial (LI) District Land Uses (1ST READING; APPROVED)
- 355 • Z2026-008: Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* for 213 S. Clark Street (1ST READING; TABLED TO
356 APRIL 6, 2026)
- 357 • Z2026-010: Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for 709 Forest Trace (DENIED)

358
359 VII. ADJOURNMENT
360

361 Chairman Dr. Conway adjourned the meeting at 7:45PM
362

363 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____
364 _____, 2026.
365

366
367 _____
368 Dr. Jean Conway, Chairman

369 Attest:
370 _____
371 Melanie Zavala, Planning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2026
APPLICANT: Pat Atkins; KPA Consulting
CASE NUMBER: P2026-008; Preliminary Plat for Phase 3 of the Saddle Star Estates South Subdivision

SUMMARY

Discuss and consider a request by Pat Atkins of KPA Consulting on behalf of Rockwall King 15, LLC for the approval of a Preliminary Plat for Phase 3 of the Saddle Star South Subdivision consisting of 26 single-family residential lots on a 14.995-acre tract of land identified as Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97, City of Rockwall, Rockwall County, Texas, zoned Planned Development 79 (PD-79) for Single-Family 10 (SF-10) District land uses, situated within SH-205 By-Pass Overlay (SH-205 BY-OV) District, generally located northeast of the intersection of Featherstone Drive and John King Boulevard, and take any action necessary.

PLAT INFORMATION

- ☑ Purpose. The purpose of the applicant's request is to Preliminary Plat a 14.99-acre tract of land (*i.e. Tract 1-03 of the P. B. Harrison Survey, Abstract No. 97*) to show the future establishment of 26 single-family residential lots and three (3) open space lots (*i.e. Lots 16-19, Block A; Lots 32-45, Block F; Lots 6-13, Block G; Lots 7-9, Block X, Saddle Star Estates South Phase Three Subdivision*). The proposed Preliminary Plat also lays out the necessary easements (*e.g. fire lane, public access/right-of-way, utilities, and drainage*) for the future development of this phase of the Saddle Star South Subdivision. In addition, the applicant is making this Preliminary Plat request based on changes to the lot configuration that occurred through the civil engineering process. Specifically, the proposed Preliminary Plat represents a decrease of seven (7) residential lots from the 33 approved lots to the 26 lots depicted on the subdivision plat.

- ☑ Background. On January 22, 2019, the City Council approved *Ordinance No. 19-07 [Case No. A2018-004]* voluntarily annexing the subject property. The purpose of this annexation was to incorporate the subject property into Planned Development District 79 (PD-79). On September 13, 2019, the applicant submitted an application requesting to amend Planned Development District 79 (PD-79) [*Ordinance No. 16-39; Case No. Z2019-021*] for the purpose of amending the development standards and concept plan and incorporating the additional 14.995-acre tract of land into the existing 55.413-acre tract of land to create an additional phase (*i.e. Phase 3*) of the Saddle Star Estates South Subdivision. This amendment increased the total acreage of the subdivision to 70.408-acres. On December 20, 2021, the City Council approved a preliminary plat [*Case No. P2020-048*] for Phase 3 of the Saddle Star Estates South Subdivision. On December 14, 2012, the Planning and Zoning Commission approved a site plan [*Case No. SP2021-034*] for Phase 3 of the Saddle Star Estates South Subdivision. On December 20, 2021, the City Council approved a preliminary plat [*Case No. P2021-060*] for Phase 3 of the Saddle Star Estates South Subdivision. The following is a summary of the lot composition and density and dimensional standards contained within Planned Development District 79 (PD-79):

Continued on Next Page ...

TABLE 1: LOT COMPOSITION

LOT TYPE	MINIMUM LOT SIZE (FT)	MINIMUM LOT SIZE (SF)	MAXIMUM DWELLING	
			UNITS (#)	DWELLING UNITS (%)
A	70' x 125'	8,750 SF	143	78.41%
B	80' x 125'	10,000 SF	33	21.59%
<i>Maximum Permitted Units:</i>			176	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

Lot Type (see Concept Plan) ►	A	B
Minimum Lot Width ⁽¹⁾	70'	80'
Minimum Lot Depth	125'	125'
Minimum Lot Area (SF)	8,750 SF	10,000 SF
Minimum Front Yard Setback ^{(2), (5)}	20'	20'
Minimum Side Yard Setback	5'	5'
Minimum Side Yard Setback (Adjacent to a Street) ^{(2) & (5)}	10'	10'
Minimum Length of Driveway Pavement	25'	25'
Maximum Height ⁽³⁾	30'	30'
Minimum Rear Yard Setback ⁽⁴⁾	20'	20'
Minimum Area/Dwelling Unit (SF)	2,700 SF	2,700 SF
Maximum Lot Coverage	65%	65%
Permitted Encroachment into Required Setbacks	Allowed	Allowed

General Notes:

- 1: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (*whichever is greater*) of the single-family home.
- 4: As measured from the rear yard property line.
- 5: Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the *Front Yard Building Setback* by up to ten (10) feet for any property; however, the encroachment shall not exceed five (5) feet on *Side Yard Setbacks*. A sunroom is an enclosed room no more than 15 - feet in width that has glass on at least 50% of each of the encroaching faces.

Parks Board. On April 7, 2026, the Parks and Recreation Board reviewed the Preliminary Plat and made the following recommendations concerning the proposed subdivision:

- (1) The property owner shall pay pro-rata equipment fees of \$28,233.78 (*i.e.* \$1,085.53 x 26 Lots).
- (2) The property owner shall pay cash-in-lieu of land fees of \$36,183.16 (*i.e.* \$1,319.66 x 26 Lots).

Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.

Conditional Approval. Conditional approval of this Preliminary Plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Preliminary Plat for Phase 3 of the Saddle Star Estates South Subdivision, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this Preliminary Plat; and,
- (2) Any construction resulting from the approval of this Preliminary Plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS R JOSH KING Blvd.

SUBDIVISION Saddle Star Phase 3

LOT _____

BLOCK _____

GENERAL LOCATION East of JOSH KING Blvd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Planned Development

CURRENT USE AG

PROPOSED ZONING _____

PROPOSED USE SF Residential

ACREAGE 1A.99 Ac

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Redwall King 15 LLC

APPLICANT KPA Consulting

CONTACT PERSON PAT ATKINS

CONTACT PERSON PAT ATKINS

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Patrick Atkins [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

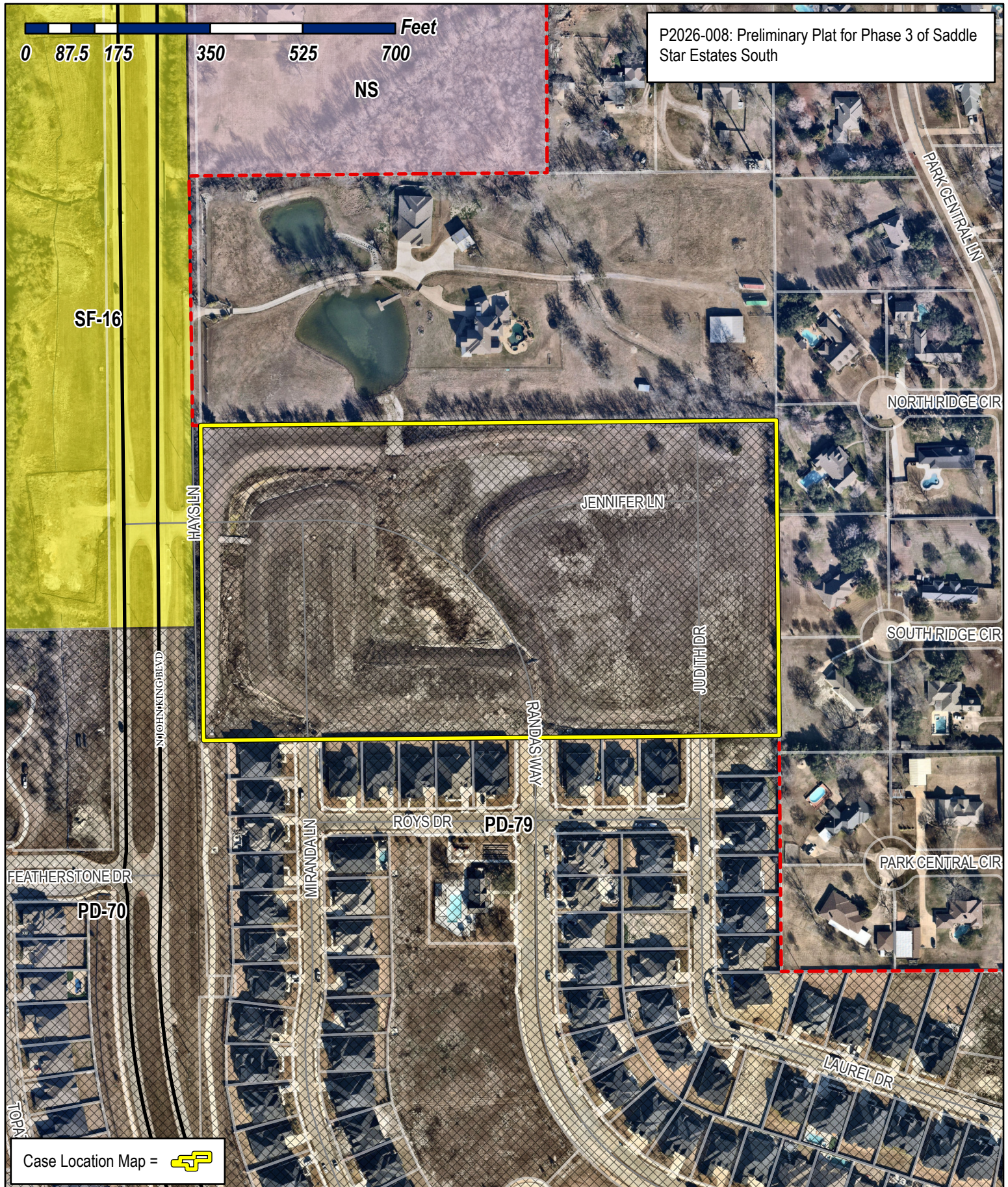
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 425 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF March, 2026 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF March, 2026.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





P2026-008: Preliminary Plat for Phase 3 of Saddle Star Estates South

0 87.5 175 350 525 700 Feet

NS

SF-16

HAYS LN

JENNIFER LN

JUDITH DR

RANDAS WAY

ROYS DR

PD-79

MIRANDALN

PARK CENTRAL CIR

FEATHERSTONE DR

PD-70

LAUREL DR

TORN

Case Location Map =

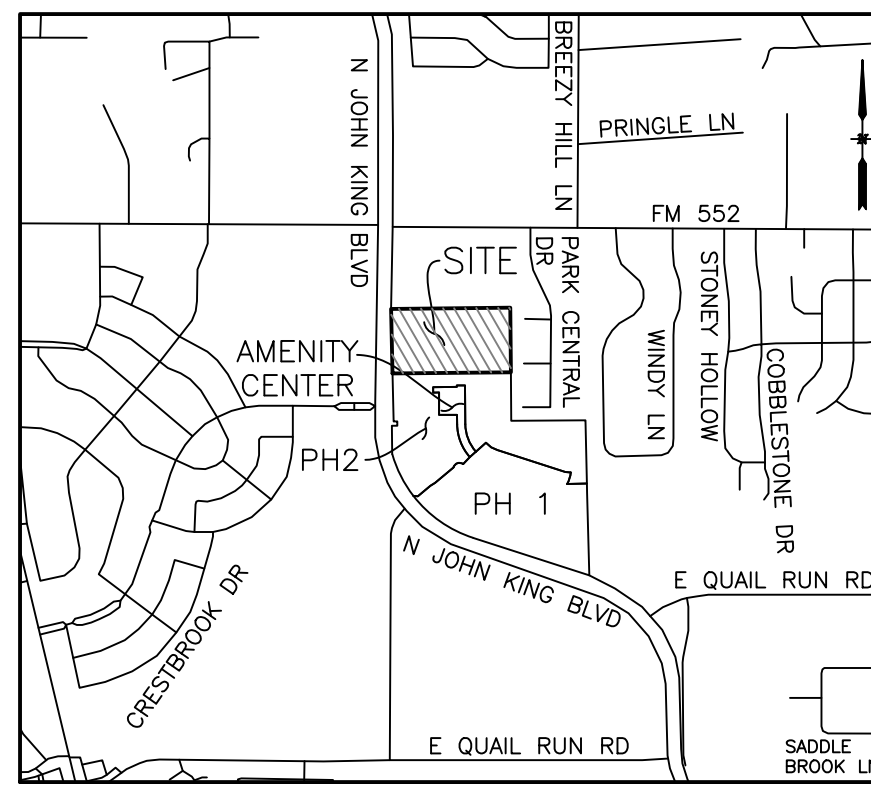


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





VICINITY MAP
N.T.S.

LEGEND

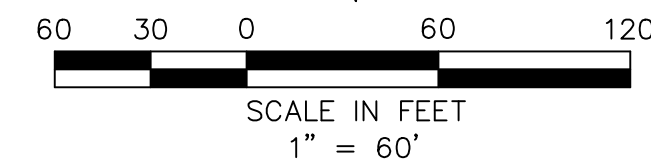
- IRF IRON ROD FOUND
- B.L. BUILDING SETBACK LINE
- CM CONTROL MONUMENT
- D.E. DRAINAGE EASEMENT
- HOA HOMEOWNERS ASSOCIATION
- S.V.E. 20'x20' SIDEWALK AND VISIBILITY EASEMENT
- WSE WATER SURFACE ELEVATION
- W.L.E. WATER LINE EASEMENT
- D.U.E. DRAINAGE & UTILITY EASEMENT
- U.E. UTILITY EASEMENT
- P.R.R.C.T. PLAT RECORDS ROCKWALL COUNTY, TEXAS
- D.R.R.C.T. DEED RECORDS ROCKWALL COUNTY, TEXAS

CURVE TABLE

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD BEARING	CHORD
C1	90°40'08"	400.00'	404.70'	632.99'	N 45°50'11" W	568.98'
C2	55°40'50"	237.50'	125.43'	230.80'	N 64°44'41" W	221.83'
C3	89°45'42"	67.50'	67.22'	105.75'	N 84°31'31" W	95.26'

LINE TABLE

NO.	DIRECTION	DISTANCE
L1	N 89°27'46" E	22.50'
L2	N 00°30'07" W	16.44'
L3	S 46°10'15" E	42.43'
L4	S 43°49'45" W	42.43'



Notes:

- Basis of Bearings = State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Adjustment Realization (CORS 2011).
- Subdivision property corners are 5/8-inch iron rods with caps marked "PETITT-ECD 6134" found or set, unless noted otherwise. Lot corners are 5/8-inch iron rods with cap marked "PETITT-ECD 6134" set or an "X" cut set in concrete, unless otherwise noted. When a retaining wall or screening fence has been placed at the rear lot corner, a 5/8-inch iron rod may be set five feet (5') from the rear lot corner along the side lot line.
- By graphical plotting, no part of the parcel described hereon lies within a Special Flood Hazard Area (SFHA) as delineated on the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map, Map Number 48397C0030L, dated September 26, 2008. The Surveyor utilized the above referenced floodplain information for this determination and the Surveyor does not certify that revised floodplain information has or has not been published by FEMA or some other source, on occasion, greater floods can and will occur and flood heights may be increased by man-made or natural causes. The above flood statement shall not create liability on the part of the surveyor.
- All light poles and appurtenances, non-standard decorative street signs, poles/posts, hardware, attachments, foundations, etc. shall be owned, maintained, repaired and replaced by the HOA.
- It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarantee that any building within such plat shall be approved, authorized or permit therefore issued, nor shall such approval constitute any representation, assurance or guarantee by the City of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under Ordinance 83-54.
- On-site and off-site Drainage Easements, Detention Easements and drainage/detention facilities will be maintained, repaired and replaced by the HOA.
- The HOA/Property Owner is responsible for maintaining and repairing all Open Space/Greenbelt Lots/Areas and Drainage Easements.

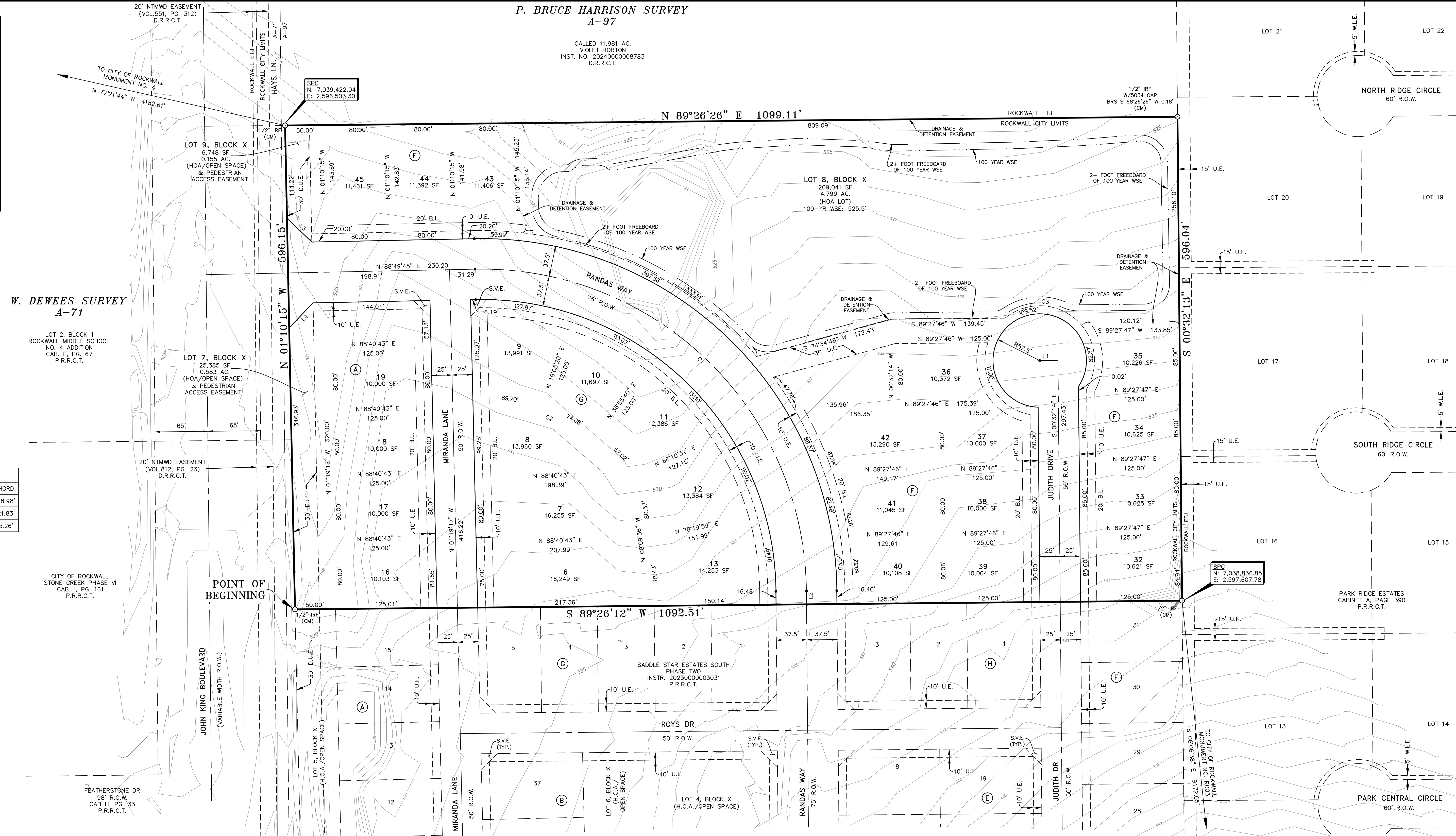
GENERAL NOTES:

- Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

Note:
The homeowners Association is responsible for maintaining all light poles and appurtenances, non-standard decorative signs, poles/post, hardware or other non-standard items. The City of Rockwall has no maintenance or other responsibility related to these items. The City of Rockwall and the Homeowners Association agree the association will bear any and all maintenance cost related to the said improvements. The City has the statutory authority to install and maintain Traffic Control Devices for vehicular traffic on public streets/roads within the public Right of Way. This agreement in no way constitutes a change in that authority and does not constitute and delegation of that authority of the Association.

**P. BRUCE HARRISON SURVEY
A-97**

CALLED 11.981 AC.
VIOLET HORTON
INST. NO. 2024000008783
D.R.R.C.T.



**W. DEWEES SURVEY
A-71**

LOT 2, BLOCK 1
ROCKWALL MIDDLE SCHOOL
NO. 4 ADDITION
CAB. F, PG. 67
P.R.R.C.T.

CITY OF ROCKWALL
STONE CREEK PHASE VI
CAB. I, PG. 161
P.R.R.C.T.

FEATHERSTONE DR
98' R.O.W.
CAB. H, PG. 33
P.R.R.C.T.

SEC. 17
7,038,836.85
E: 2,597,607.78

1/2" IRF
W/5034 CAP
BRS S 68°26'26" W 0.18'
(CM)

**PRELIMINARY PLAT
SADDLE STAR ESTATES SOUTH
PHASE THREE**

26 SINGLE FAMILY LOTS
3 COMMON AREA LOTS
BLOCK A, LOTS 16-19
BLOCK F, LOTS 32-45
BLOCK G, LOTS 6-13
BLOCK X, LOTS 7-9

14.995 ACRES, 653,191 SQUARE FEET
SITUATED IN THE
**P. BRUCE HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS**

PETITT - ECD
CIVIL ENGINEERING/SURVEYING/CONSTRUCTION ADMINISTRATION
TBP&S FIRM REGISTRATION
ENGINEERING FIRM #001145 SURVEYING FIRM #0194792
1600 N COLLINS BLVD. SUITE 3300 RICHARDSON, TX 75080
201 WINDCO CIR. SUITE 100 WYLIE, TX 75098
(972) 941-8400

**ZONING DISTRICT: PD-79
OPEN SPACE = 5.537 AC.
26 DWELLING UNITS
1.734 UNITS PER ACRE**

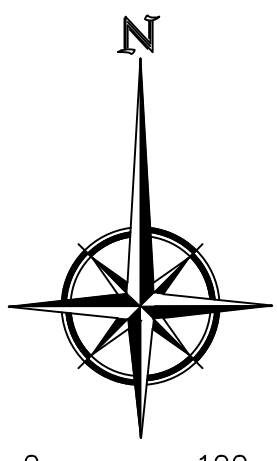
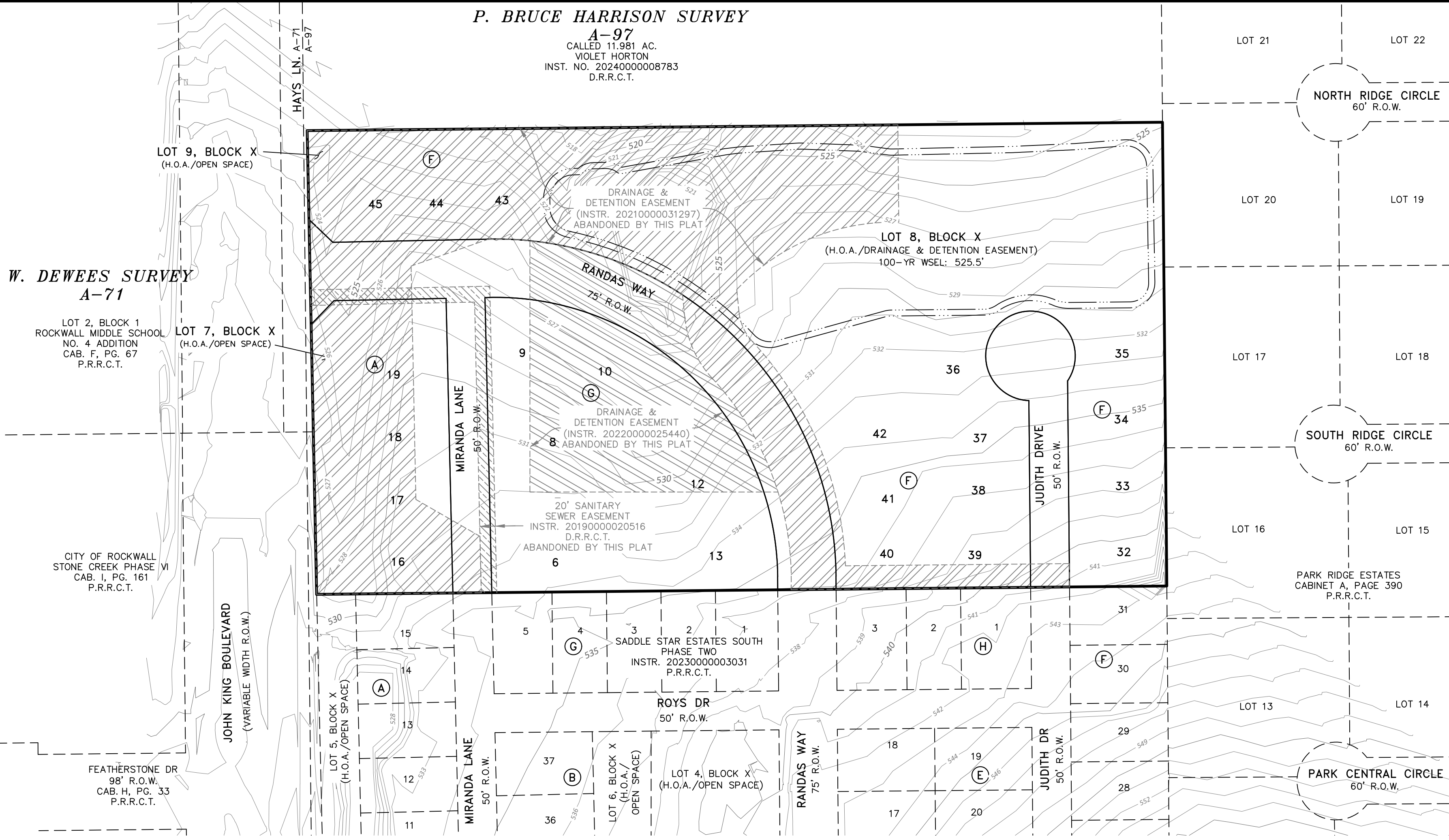
OWNER
ROCKWALL KING 15 LLC
614 SUMMER OAKS DR.
ROCKWALL, TX 75087

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX: (972) 412-4975
EMAIL: rmysersurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355

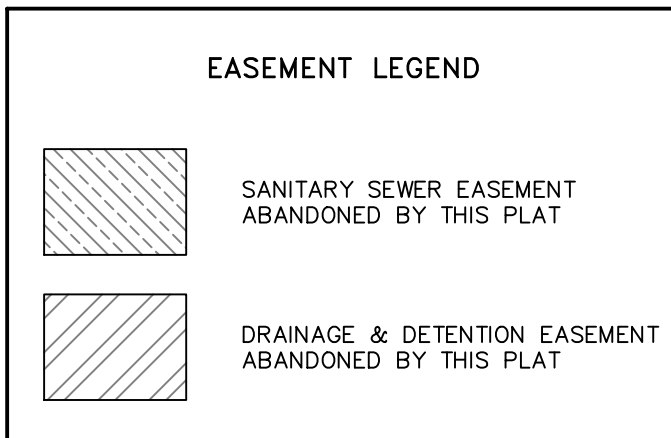
DATE: 4/06/2026 CASE #: P2026-008 SHEET 1 OF 2

P. BRUCE HARRISON SURVEY

A-97
CALLED 11.981 AC.
VIOLET HORTON
INST. NO. 2024000008783
D.R.R.C.T.



SCALE IN FEET
1" = 100'



SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:
That I, Robert C. Myers, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.
GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____, 2026.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

ROBERT C. MYERS
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 3963

APPROVAL CERTIFICATE

Planning & Zoning Commission, Chairman _____ Date _____

APPROVED:
I hereby certify that the above and foregoing plat of an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall on the ____ day of _____, 2026.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall, County, Texas, within one hundred eighty (180) days from said date of final approval.

WITNESS OUR HANDS, this ____ day of _____, 2026.

Mayor, City of Rockwall _____ City Secretary _____ City Engineer _____

OWNER'S CERTIFICATE & DEDICATION

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ROCKWALL KING 15 LLC, BEING THE OWNER OF A 14.995-acre tract of land situated in the P. Bruce Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being all of a called 15.00-acre tract of land described in deed to CD7 Rockwall/2017, LLC, recorded in Instrument 2018000016747, Deed Records, Rockwall County, Texas (DRRCT), said 14.995-acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found in the original Hays Road at the common west corner of said 15.00-acre tract and Saddle Star Estates South, Phase Two, an addition to the City of Rockwall by plat thereof recorded in Instrument 2023000003031, Plat Records, Rockwall County, Texas (PRRCT);

THENCE North 01 degrees 10 minutes 15 seconds West, along and within said Hays Road and along the west line of said 15.00-acre tract, a distance of 596.15 feet to a 1/2-inch iron rod found at the northwest corner thereof, common to the southwest corner and a called 11.981-acre tract of land described in deed to Violet Horton, recorded in Instrument 2024000008783, DRRCT;

THENCE North 89 degrees 26 minutes 26 seconds East, along the common line of last mentioned tracts, a distance of 1099.11 feet to a point for corner at the common east corner thereof, and also being in the west line of Park Ridge Estates, an addition to the County of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390, PRRCT, from which a 1/2-inch iron rod with a yellow cap stamped 5034 bears South 68 degrees 26 minutes 26 seconds West, a distance of 0.18 feet;

THENCE South 00 degrees 32 minutes 13 seconds East, along the common line of said 15.00-acre tract and said Park Ridge Estates, a distance of 596.04 feet to a 1/2-inch iron rod found at the southeast corner thereof, common to the northeast corner of said Saddle Star Estates South, Phase Two;

THENCE South 89 degrees 26 minutes 12 seconds West, along the common line of last-mentioned tracts, a distance of 1092.51 feet to the POINT OF BEGINNING AND CONTAINING 653,191 square feet or 14.995 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: STATE OF TEXAS COUNTY OF ROCKWALL We the undersigned owner of the land shown on this plat, and designated herein as the SADDLE STAR ESTATES SOUTH PHASE THREE a subdivision to the city, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in the SADDLE STAR ESTATES SOUTH PHASE THREE subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following:

- 1) No buildings shall be constructed or placed upon, over, or across the off-site and on-site utility easements as described herein.
- 2) Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- 3) The city will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- 4) The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- 5) The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- 6) No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the city regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the city; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the city.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exactions made herein.

PROPERTY OWNERS SIGNATURE _____

SIGNATURE OF PARTY WITH MORTGAGE OR LIEN INTEREST _____

STATE OF TEXAS
COUNTY OF _____

Before me, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this ____ day of _____, 2026.

Notary Public in and for the State of Texas
My Commission Expires: _____

PRELIMINARY PLAT
**SADDLE STAR ESTATES SOUTH
PHASE THREE**

26 SINGLE FAMILY LOTS
3 COMMON AREA LOTS
BLOCK A, LOTS 16-19
BLOCK F, LOTS 32-45
BLOCK G, LOTS 6-13
BLOCK X, LOTS 7-9

14.995 ACRES, 653,191 SQUARE FEET
SITUATED IN THE

P. BRUCE HARRISON SURVEY, A-97
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

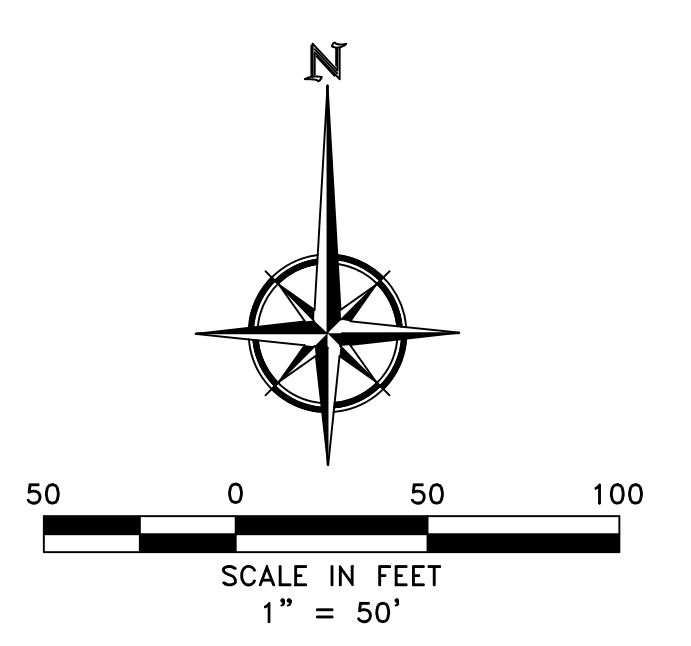
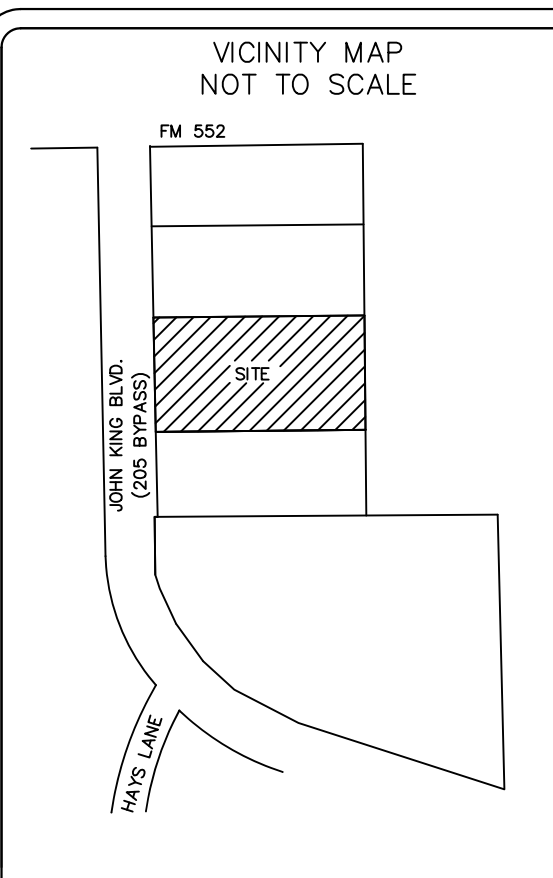
PETITT - ECD

CIVIL ENGINEERING/SURVEYING/CONSTRUCTION ADMINISTRATION
TPELS FIRM REGISTRATION
ENGINEERING FIRM #001145 SURVEYING FIRM #10194792
1600 N COLLINS BLVD. SUITE 3300
RICHARDSON, TX 75080
201 WINDCO CIR. SUITE 100
WYLIE, TX 75098
(972) 941-8400

ZONING DISTRICT: PD-79
OPEN SPACE = 5.537 AC.
26 DWELLING UNITS
1.734 UNITS PER ACRE

OWNER
ROCKWALL KING 15 LLC
614 SUMMER OAKS DR.
ROCKWALL, TX 75087

LAND SURVEYOR
R.C. MYERS SURVEYING, LLC
488 ARROYO COURT
SUNNYVALE, TX 75182
(214) 532-0636
FAX: (972) 412-4875
EMAIL: rcmsurveying@gmail.com
FIRM NO. 10192300 JOB NO. 355



LEGEND	
CIRS	1/2" IRON ROD SET WITH YELLOW CAP STAMPED "RPLS 3963"
CIRF	CAPPED IRON ROD FOUND
IRF	IRON ROD FOUND
(CM)	CONTROL MONUMENT
A.E.	ACCESS EASEMENT
U.E.	UTILITY EASEMENT
W.L.E.	WATER LINE EASEMENT
	FIRE HYDRANT
	GUY WIRE
	POWER POLE
	SIGN
	COLUMN
PRRCT	PLAT RECORDS, ROCKWALL COUNTY, TEXAS
DRRCT	DEED RECORDS, ROCKWALL COUNTY, TEXAS
-E-	OVERHEAD ELECTRIC LINE
-X-	WIRE OR BARBED WIRE FENCE
-□-	CHAIN LINK FENCE
-○-	METAL PIPE FENCE
⊗	SANITARY SEWER MANHOLE
⊙	STORM SEWER MANHOLE
⊕	WATER VALVE

LEGAL DESCRIPTION

BEING 14.995 acres of land situated in the P.B. Harrison Survey, Abstract No. 97, Rockwall County, Texas, and being all of a called 14.995 acre tract of land described in a Special Warranty Deed to Rockwall King 15 LLC, recorded as Instrument Number 2025000015842 of the Official Public Records of Rockwall County Texas (OPRRCT), and being more particularly described as follows:

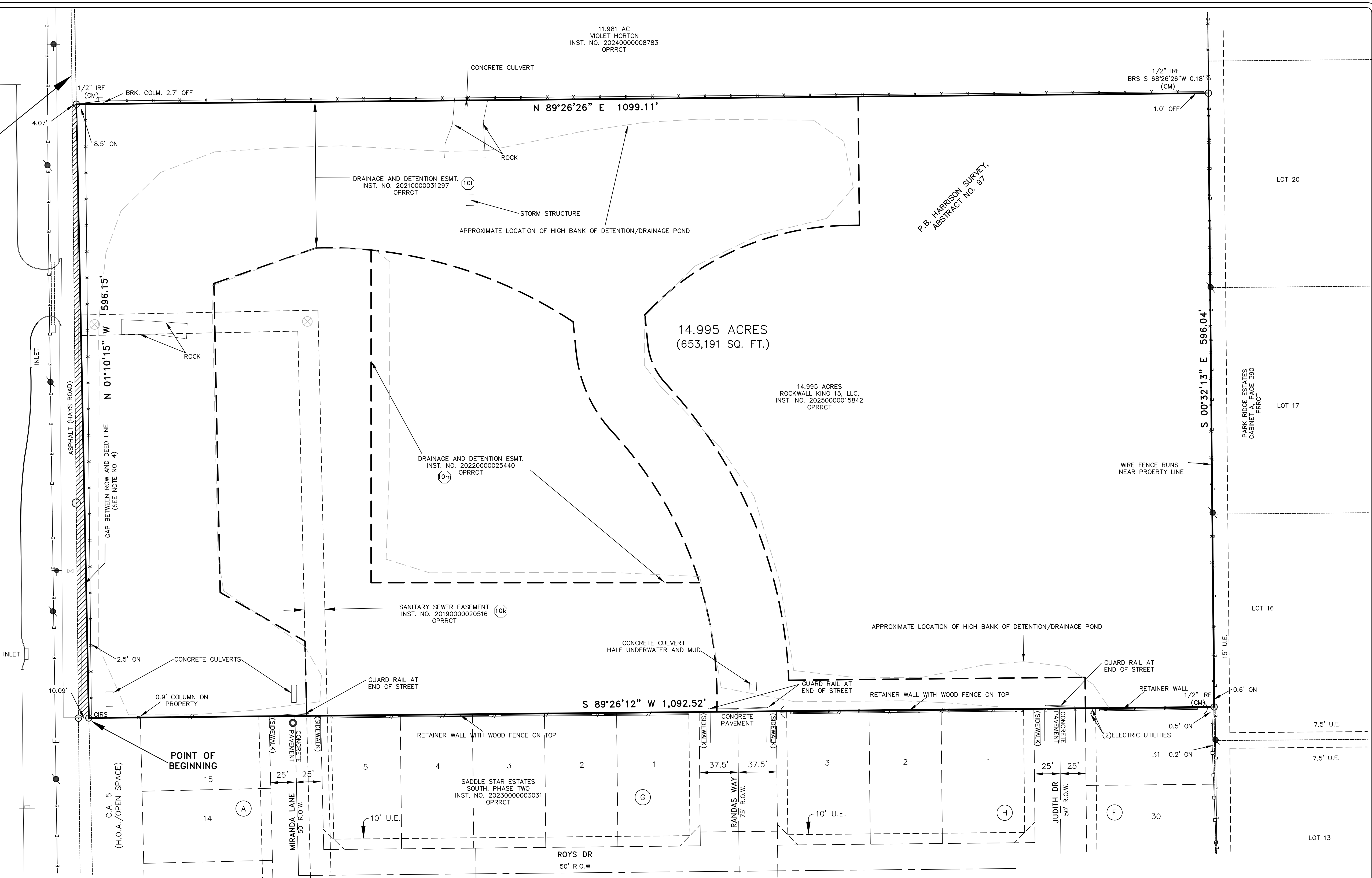
BEGINNING at a 5/8" iron rod with a yellow cap stamped, "RPLS 3963," set for corner in the original Hays Road at the southwest corner of said 14.995 acre tract common to the northwest corner of Saddle Star Estates South Phase Two, an addition of the City of Rockwall according to the Plat recorded as Instrument Number 2023000003031 (OPRRCT);

THENCE North 01°10'15" West, along and within Hays Road and with the west line of said 14.995 acre tract, a distance of 596.15 feet, to a 1/2" iron rod found for corner at the northwest corner thereof, common to the southwest corner of a called 11.981 acre tract of land described in a deed to Violet Horton, recorded as Instrument Number 2024000008783 (OPRRCT);

THENCE North 89°26'26" East, along the common line of last mentioned tracts, a distance of 1,099.11 feet, to a point for corner at the common east corner thereof, and also being in the west line of Park Ridge Estates, an addition to the City of Rockwall, according to the Plat thereof recorded in Cabinet A, Page 390 of the Plat Records of Rockwall County, Texas (PRRCT), from which a 1/2" iron rod found for reference bears South 68°26'26" West, a distance of 0.18 feet;

THENCE South 00°32'13" East, along the common line of said 14.995 acre tract and said Park Ridge Estates, a distance of 596.04 feet, to a 1/2" iron rod found for corner at the southeast corner of said 14.995 acre tract, common to the northeast corner of Lot 31, Block F of said Saddle Star Estates South Phase 2;

THENCE South 89°26'12" West, along the south line of said 14.995 acre tract and the north line of said Saddle Star Estates South Phase 2, a distance of 1,092.52 feet to PLACE OF BEGINNING and Containing 653,191 square feet, or 14.995 acres of land.



- Old Republic National Title Insurance Company
Title Commitment Schedule B:
GF No. 7721000695INC
Effective Date: 01-22-2026
EXCEPTIONS FROM COVERAGE:
- (10h) Right of Way Easement as set forth in instrument recorded in Volume 43, Page 128, of the Deed Records of Rockwall County, Texas. **DOES NOT AFFECT.**
 - (10i) Right of Way Easement as set forth in instrument recorded in Volume 82, Page 388, of the Deed Records of Rockwall County, Texas. **DOES NOT AFFECT.**
 - (10j) Right of Way Easement as set forth in instrument recorded in Volume 82, Page 392, of the Deed Records of Rockwall County, Texas. **DOES NOT AFFECT.**
 - (10k) Sanitary Sewer Easement as set forth in instrument filed for record under Rockwall County Clerk's File No. 20190000020516. **AS SHOWN.**
 - (10l) Drainage and Detention Easement as set forth in instrument filed for record under Rockwall County Clerk's File No. 20210000031297. **AS SHOWN.**
 - (10m) Drainage Easement as set forth in instrument filed for record under Rockwall County Clerk's File No. 20220000025440. **AS SHOWN.**
 - (10n) Terms and provisions contained in Infrastructure Improvement Cost Reimbursement Agreement as set forth in instrument filed for record under Rockwall County Clerk's File No. 20200000022784. **SUBJECT TO.**

- NOTES:
- Bearings are based on Texas State Plane Coordinates, Projection: State Plane NAD83 Texas North Central Zone 4202, Lambert Conformal Conic, Feet (TX83-NCF).
 - This survey was prepared with the benefit of Title Commitment GF No. 7721000695INC, effective date of January 22, 2026, issued on February 2, 2026. No research of record easements has been performed on this tract since the effective date of the policy mentioned above.
 - According to my interpretations of the Rockwall County, Texas and Incorporated Areas, Flood Insurance Rate Map Number 48397C0030L, dated September 26, 2008, the subject property lies within flood zone "X" and is not shown to be within a Special Flood Hazard Area. This statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the surveyor.
 - Apparent gap exists between the west line of this property and the east line of the John King ROW as defined by parcel # 17 in a deed to the City of Rockwall recorded as instrument no. 2007-00384711 and per City of Rockwall plan and profile sheets 5-7. This gap appears to lie within the original Hayes Road prescriptive ROW as used.

TO: TEXAS BANK AND TRUST COMPANY

I, Robert C. Myers, Registered Professional Land Surveyor, do hereby certify that this plat represents the results of a survey made on the ground under my supervision during month of February, 2026 and substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A Condition II Survey. FIELD WORK COMPLETED ON 02/09/26

Robert C. Myers
ROBERT C. MYERS R.P.L.S. NO. 3963

R.C. MYERS SURVEYING, LLC

"Registered Professional Land Surveyors"

488 ARROYO COURT (214) 532-0636 Voice
SUNNYVALE, TEXAS 75182 (972) 412-4875 Fax
Robert "Calvin" Myers, RPLS 3963
rcmsurveying@gmail.com Firm No. 10192300

Client: Rockwall King 15, LLC
Job No.: 355 Drawn by: RCM Date: 02/10/26 Revised: 2/12/2026

LAND TITLE SURVEY
OF
14.995 ACRES
SITUATED IN THE
P.B. HARRISON SURVEY, A-97
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2026
APPLICANT: Cristian Federciuc
CASE NUMBER: P2026-011; *Replat for Lots 7 & 8 of the Davenport Acres Addition*

SUMMARY

Consider a request by Cristian Federciuc for the approval of a Replat for Lots 7 & 8 of the Davenport Acres Addition being a 6.00-acre parcel of land identified as Lot 3 of the Davenport Acres Addition, Rockwall County, Texas, situated within the Extraterritorial Jurisdiction (ETJ) of the City of Rockwall, addressed as 211 Howell Road, and take any action necessary.

PLAT INFORMATION

- Purpose. The applicant is requesting the approval of a Replat for a 6.00-acre parcel of land [i.e. Lot 3 of the Davenport Acres Addition] for the purpose of subdividing one (1) lot into two (2) lots [i.e. Lots 7 & 8 of the Davenport Acres Addition]. In accordance with the *Interim Interlocal Agreement by and Between the City of Rockwall and Rockwall County*, staff provided the applicant's plat to Rockwall County for review. Rockwall County determined that the submitted plat meets the requirements of the *Interim Interlocal Agreement by and Between the City of Rockwall and Rockwall County*.
- Conformance to the Interlocal Agreement. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Interim Interlocal Agreement by and Between the City of Rockwall and Rockwall County* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conformance to the Subdivision Ordinance. The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval. Conditional approval of this Replat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- Conformance of the Subdivision Plat. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for Lots 7 & 8 of the Davenport Acres Addition, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this Replat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted

engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

- (3) Staff has communicated with the applicant, who indicated that he will revise the driveway location to ensure it does not encroach upon the property line.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 211 HOWELL RD, ROYSE CITY, TX 75189

SUBDIVISION DANFORTH ACRES LOT 3 BLOCK _____

GENERAL LOCATION 211 HOWELL RD

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING — CURRENT USE RESIDENTIAL

PROPOSED ZONING — PROPOSED USE RESIDENTIAL

ACREAGE 6.00 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER CRISTIAN FEDERICU APPLICANT _____

CONTACT PERSON _____ CONTACT PERSON _____

ADDRESS _____ ADDRESS _____

CITY, STATE & ZIP _____ CITY, STATE & ZIP _____

PHONE _____ PHONE _____

E-MAIL _____ E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

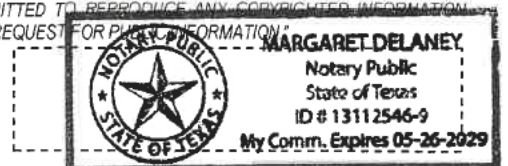
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CRISTIAN FEDERICU [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF March, 2020

OWNER'S SIGNATURE Federicu Cristian

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Margaret Delaney



MY COMMISSION EXPIRES _____

0 55 110 220 330 440 Feet

P2026-011: Replat for Lots 7 & 8 of Davenport Acres Addition



Case Location Map = 

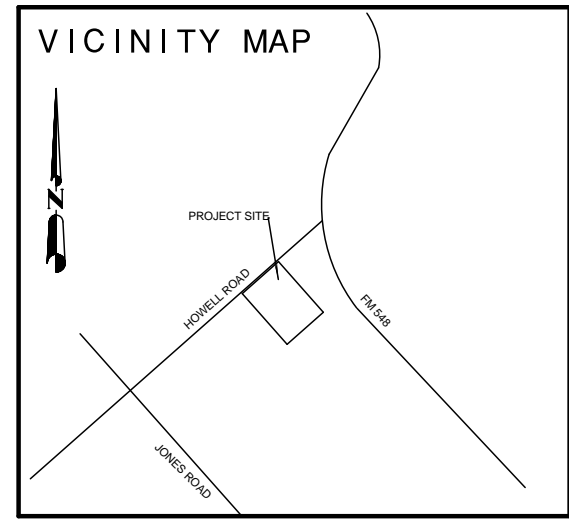
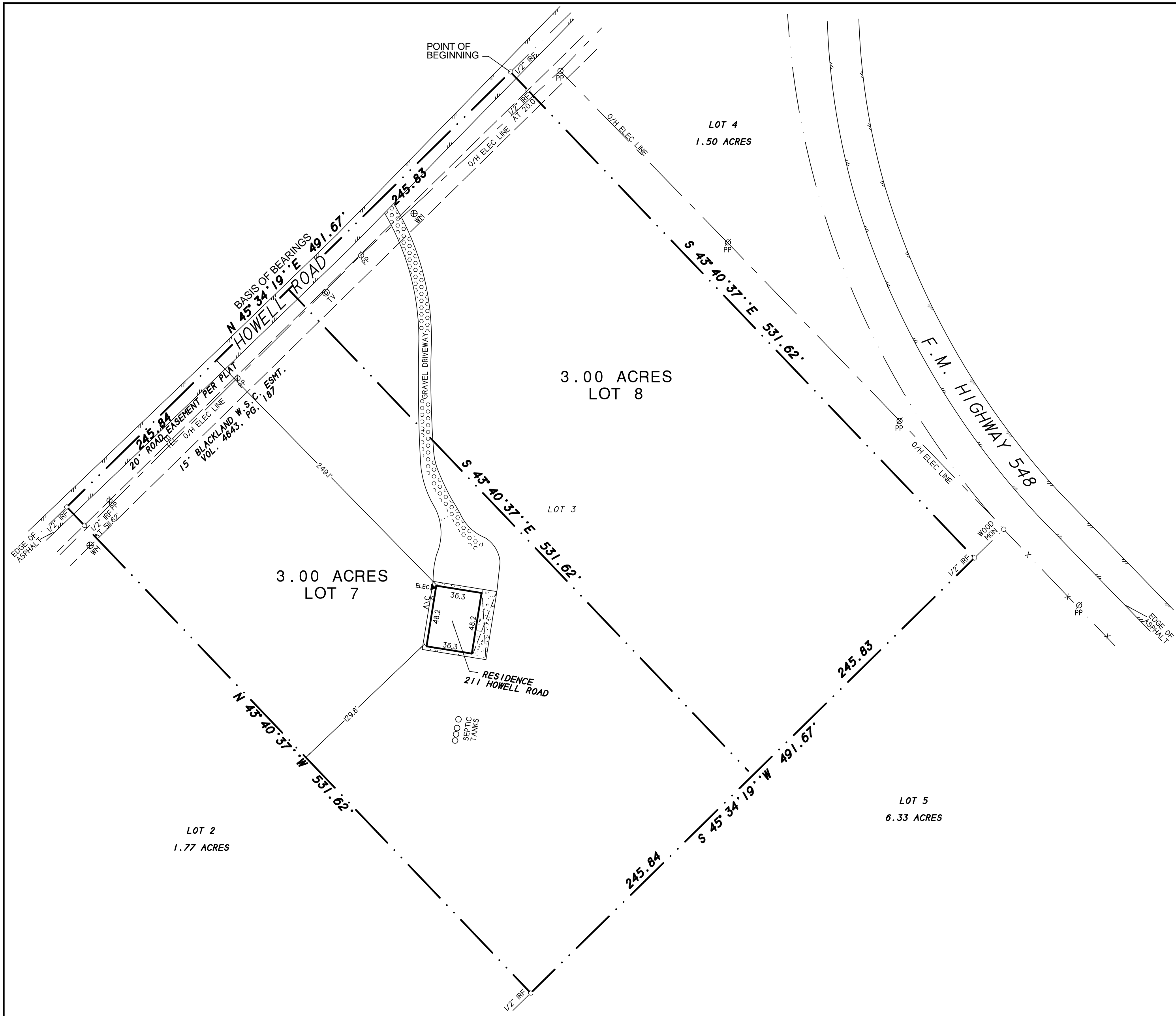


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





GRAPHIC SCALE 1"=60'

FINAL PLAT
 LOT 7 & 8
 BLOCK A
 DAVENPORT ADDITION

2 LOTS - 6.00 ACRES / 261,381 S.F.
 BAUGUSS SURVEY, ABST. 7
 ROCKWALL COUNTY, TEXAS

GENERAL NOTES:

- (1) Subdivider's Statement. Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- (2) Public Improvement Statement. It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- (3) Drainage and Detention Easements. The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- (4) Fire Lanes. All Fire Lanes will be constructed, maintained, repaired and replaced by the property owner. Fire Lanes shall be constructed in accordance with the approved Civil Engineering Plans for both on-site and off-site Fire Lane improvements.
- (5) Street Appurtenances. All decorative signage, posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).

SURVEYOR'S NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 48397C0065 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS * RPLS 5034.*

OWNERS:
 GEANINA FEDERCIUC
 CRISTIAN FEDERCIUC
 211 HOWELL RD
 ROYSE CITY, TX 75189

SHEET 1 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE JULY 15, 2024
 SCALE 1" = 60' FILE # 991462-RP3
 CLIENT FEDERCIUC

OWNER'S CERTIFICATE
(Public Dedication)
STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, Geanina Federciuc and Cristian Federciuc, BEING THE OWNERS OF A TRACT OF land in the BAUGUSS SURVEY, ABSTRACT NO. 7, County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the BAUGUSS SURVEY, ABSTRACT NO. 7, Rockwall County, Texas, and being Lot 3, of DAVENPORT ACRES, an Addition to Rockwall County, Texas, according to the Plat thereof recorded in Cabinet D, Slide 269, Plat Records, Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner at the north corner of Lot 3 and the west corner of Lot 4, and being in the center of Howell Road, a 40 foot right-of-way;

THENCE N. 43 deg. 40 min. 37 sec. E. along the common line between said lots, a distance of 531.62 feet to a 1/2" iron rod found for corner at the east corner of Lot 3 and in the northwest boundary of Lot 5;

THENCE S. 45 deg. 34 min. 19 sec. E., a distance of 491.67 feet to a 1/2" iron rod found for corner at the south corner of Lot 3 and east corner of Lot 2;

THENCE N. 43 deg. 40 min. 37 sec. W. a distance of 531.62 feet to a 1/2" iron rod found for corner in Howell Road;

THENCE N. 45 deg. 34 min. 19 sec. E. along said center of Howell Road, a distance of 491.67 feet to the POINT OF BEGINNING and containing 261,381 square feet or 6.00 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

We the undersigned owner of the land shown on this plat, and designated herein as LOTS 7 & 8, BLOCK A, DAVENPORT ADDITION an Addition to the City of Rockwall, Texas and whose name is subscribed hereto, hereby dedicated to the use of public forever all streets, alleys parks water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. We further certify that all other parties who have a mortgage or lien interest in LOTS 7 & 8, BLOCK A, DAVENPORT ADDITION, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following:

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasional by the establishment of grade of streets in the subdivision.
4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.
5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such properties within the drainage area are not adversely affected by storm drainage from the development.
6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City. We, our successors and assigns hereby waive any claim, damage, or cause of action that I may have as a result of the dedication of exaction's made herein.

Geanina Federciuc

Cristian Federciuc

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Geanina Federciuc, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public

STATE OF TEXAS
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Cristian Federciuc, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, _____.

Notary Public

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, Harold D. Fetty, III, R.P.L.S. No. 5034, do hereby certify that I prepared this plat from an actual and accurate survey of the land, and that the corner monuments shown thereon were properly placed under my personal supervision.

Harold D. Fetty, III
Registered Professional Land Surveyor No. 5034



APPROVED: I hereby certify that the above and foregoing plat of an Addition to Rockwall County, Texas, was approved by the City Council of the City of Rockwall on the _____ day of _____, in accordance with the requirements of the Interlocal Cooperation Agreement for Subdivision Regulation in the Exteraterritorial Jurisdiction (ETJ) of the City of Rockwall, Texas, an addition to the City of Rockwall, Texas, was approved by the City Council of the City of Rockwall entered into by the City of Rockwall and Rockwall County.

This approval shall be invalid unless the approved plat for such addition is recorded in the office of the County Clerk of Rockwall County, Texas, within one hundred eighty days from said date of that approval.

WITNESS OUR HANDS, this the _____ day of _____, _____.

Mayor of City of Rockwall

City Secretary

City Engineer

Rockwall County Judge

Date

FINAL PLAT
LOT 7 & 8
BLOCK A
DAVENPORT ADDITION

2 LOTS - 6.00 ACRES / 261,381 S.F.
BAUGUSS SURVEY, ABST. 7
ROCKWALL COUNTY, TEXAS

OWNERS:
GEANINA FEDERCIUC
CRISTIAN FEDERCIUC
211 HOWELL RD
ROYSE CITY, TX 75189

SHEET 2 OF 2

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 101509-00
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE JULY 15, 2024
SCALE 1" = 60' FILE # 991462-RF3
CLIENT FEDERCIUC



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: April 14, 2026

APPLICANT: Chase Finch; Corwin Engineering, Inc.

CASE NUMBER: P2026-012; *Final Plat for the Erwin Farms Subdivision*

SUMMARY

Consider a request by Chase Finch of Corwin Engineering, Inc. on behalf of John Arnold of Erwin Farms SF, LTD for the approval of a Final Plat for Erwin Farms Subdivision consisting of 123 residential lots on a 98.198-acre tract of land identified as a portion of Tract 4 of the J. M. Gass Survey, Abstract No. 88, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 104 (PD-104) for Single-Family 10 (SF-10) District land uses, generally located on the southside of North Country Lane east of the intersection of North Country Lane and FM-1141, and take any action necessary.

PLAT INFORMATION

- ☑ Purpose. The purpose of the applicant's request is to Final Plat a 98.198-acre parcel of land (*i.e. Tract 4 of the J. M. Gass Survey, Abstract No. 88*) to show the future establishment of 122 single-family residential lots and six (6) open space lots. The proposed Final Plat also lays out the necessary easements (*e.g. right-of-way, utilities, and drainage*) for the future development of the residential subdivision. Staff should note that in conjunction with the submittal of this Final Plat, the applicant has also submitted a Site Plan [Case No. SP2026-008] for the Erwin Farms Subdivision.
- ☑ Background. The subject property was annexed on August 30, 1999 by Ordinance No. 99-33 [Case No. A1999-001]. At the time of annexation, the subject property was zoned Agricultural (AG) District. On April 7, 2025, the City Council approved a zoning case [Case No. Z2025-005] that changed the zoning designation of the subject property from Agricultural (AG) District to Planned Development District 104 (PD-104) [Ordinance No. 25-15] for Single-Family 10 (SF-10) District land uses. On June 16, 2025, the City Council approved a Master Plat [Case No. P2025-018] and Preliminary Plat [Case No. P2025-016] for the Erwin Farms Subdivision. Under the approved Planned Development District ordinance, the subject property was permitted to be developed with a total of 123 single-family residential lots (*or a density of 1.25 dwelling units per acre*) and a minimum of 33.19-acres of open space (*i.e. 25.60% open space on the gross*). The following is a summary of the lot composition and density and dimensional standards contained within Planned Development District 104 (PD-104):

TABLE 1: LOT COMPOSITION

Lot Type	Minimum Lot Size (FT)	Minimum Lot Size (SF)	Dwelling Units (#)	Dwelling Units (%)
A	100' x 120'	12,000 SF	100	81.30%
B	120' x 230'	32,670 SF	17	13.82%
C	120' x 275'	43,560 SF	6	04.88%
<i>Maximum Permitted Units:</i>			123	100.00%

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

	Lot Type (see Concept Plan) ►		
	A	B	C
MINIMUM LOT WIDTH ⁽¹⁾	100'	120'	120'
MINIMUM LOT DEPTH	120'	230'	275'
MINIMUM LOT AREA	12,000 SF	32,670 SF	43,560 SF
MINIMUM FRONT YARD SETBACK ^{(2), (5) & (6)}	25'	30'	30'

MINIMUM SIDE YARD SETBACK	10'	10'	10'
MINIMUM SIDE YARD SETBACK ADJACENT TO A STREET (2), (5), & (6)	20'	20'	20'
MINIMUM LENGTH OF DRIVEWAY PAVEMENT	25'	25'	25'
MAXIMUM HEIGHT (3)	36'	36'	36'
MINIMUM REAR YARD SETBACK (4)	10'	10'	10'
MINIMUM AREA/DWELLING UNIT (SF) (7)	2,800 SF	3,000 SF	3,000 SF
MAXIMUM LOT COVERAGE	65%	60%	60%

GENERAL NOTES:

- 1: LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY HAVE THE FRONT LOT WIDTH REDUCED BY 20% AS MEASURED AT THE *FRONT YARD BUILDING SETBACK*. ADDITIONALLY, THE LOT DEPTH ON LOTS FRONTING ONTO CURVILINEAR STREETS, CUL-DE-SACS AND EYEBROWS MAY BE REDUCED BY UP TO TEN (10) PERCENT, BUT SHALL MEET THE MINIMUM LOT SIZE FOR EACH LOT TYPE REFERENCED IN *TABLE 1*.
- 2: THE LOCATION OF THE *FRONT YARD BUILDING SETBACK* AS MEASURED FROM THE FRONT PROPERTY LINE.
- 3: THE *MAXIMUM HEIGHT* SHALL BE MEASURED TO THE EAVE OR TOP PLATE (*WHICHEVER IS GREATER*) OF THE SINGLE-FAMILY HOME.
- 4: THE LOCATION OF THE *REAR YARD BUILDING SETBACK* AS MEASURED FROM THE REAR PROPERTY LINE.
- 5: SUNROOMS, PORCHES, STOOPS, BAY WINDOWS, BALCONIES, MASONRY CLAD CHIMNEYS, EAVES AND SIMILAR ARCHITECTURAL FEATURES MAY ENCROACH BEYOND THE *FRONT YARD BUILDING SETBACK* BY UP TO TEN (10) FEET FOR ANY PROPERTY; HOWEVER, THE ENCROACHMENT SHALL NOT EXCEED FIVE (5) FEET ON *SIDE YARD SETBACKS*. A SUNROOM IS AN ENCLOSED ROOM NO MORE THAN 15-FEET IN WIDTH THAT HAS GLASS ON AT LEAST 50% OF EACH OF THE ENCROACHING FACES.
- 6: ALL *CORNER LOTS* THAT BACK TO A LOT THAT FRONTS ONTO THE SAME STREET THAT THE *CORNER LOT* SIDES TO (*I.E. A KEYSTONE LOT*), SHALL HAVE A SIDE SETBACK THAT IS EQUAL TO THE FRONT SETBACK OF THE FRONTING LOT. IN ADDITION, NO SOLID FENCE SHALL BE SITUATED WITHIN THIS SETBACK.
- 7: AIR-CONDITIONED SPACE.

- Parks Board.** On April 7, 2026, the Parks and Recreation Board reviewed the *Final Plat* and made the following recommendations concerning the proposed subdivision:
 - o The property owner shall pay pro-rata equipment fees of \$183,909.60 (*i.e. \$1,495.20 x 123 Lots*).
 - o The property owner shall pay cash-in-lieu of land fees of \$223,577.10 (*i.e. \$1,817.70 x 123 Lots*).
- Conformance to the Subdivision Ordinance.** The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional Approval.** Conditional approval of this *Final Plat* by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below. With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the *Final Plat* for the Erwin Farms Subdivision, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,
- (2) Any construction resulting from the approval of this *Final Plat* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION

Erwin Farms

LOT _____

BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE _____

ACREAGE

98.198

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

123

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Erwin Farms

APPLICANT

Corwin Engineering, Inc.

CONTACT PERSON

John Arnold

CONTACT PERSON

Chase Finch

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

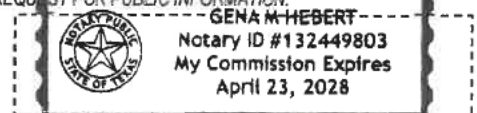
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED John Arnold [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 2263.96 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13 DAY OF March, 2026. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF March, 2026.

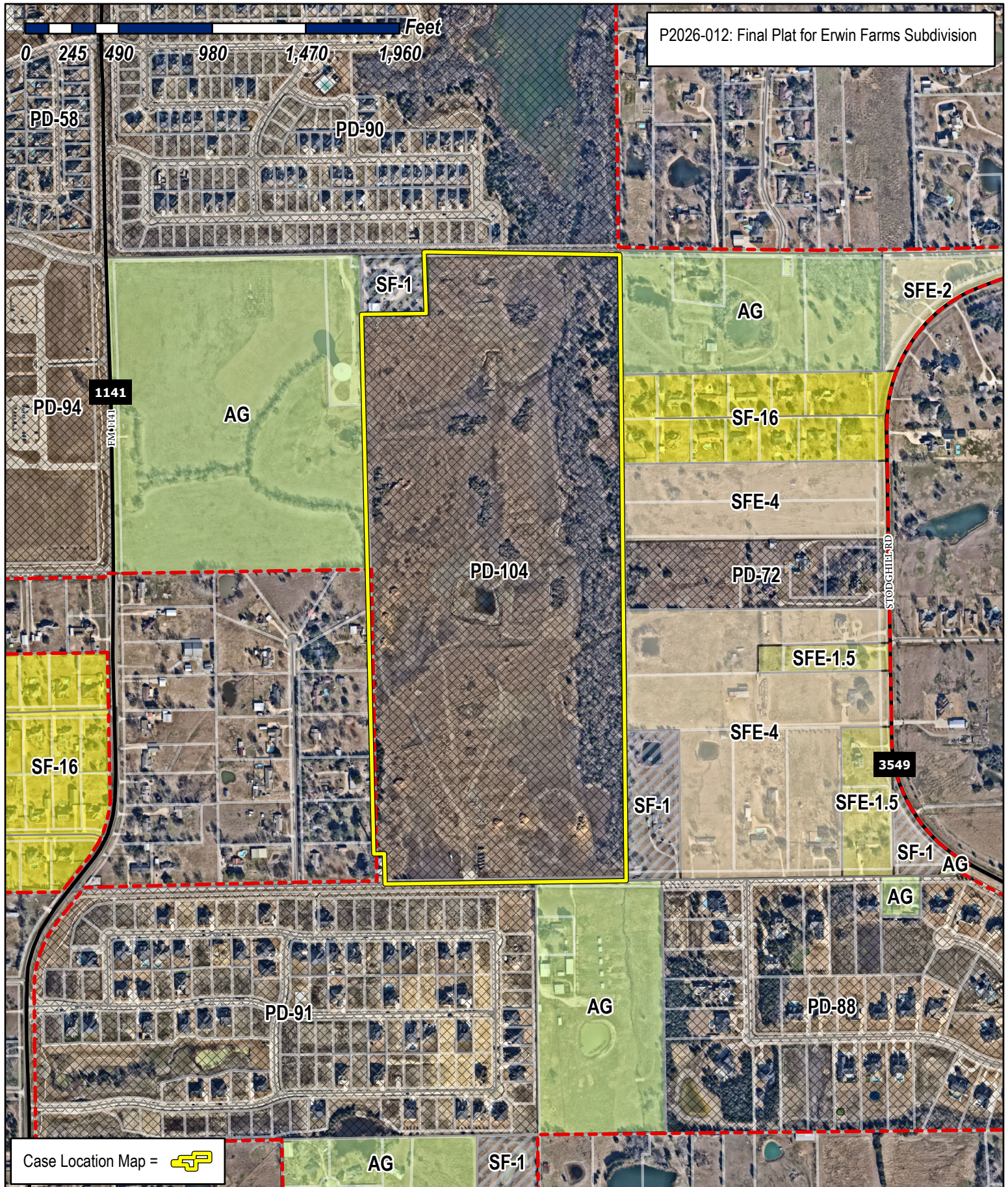
OWNER'S SIGNATURE _____


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____



MY COMMISSION EXPIRES 4/23/2028

P2026-012: Final Plat for Erwin Farms Subdivision



Case Location Map = 

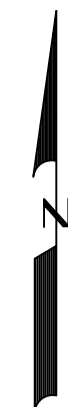


City of Rockwall

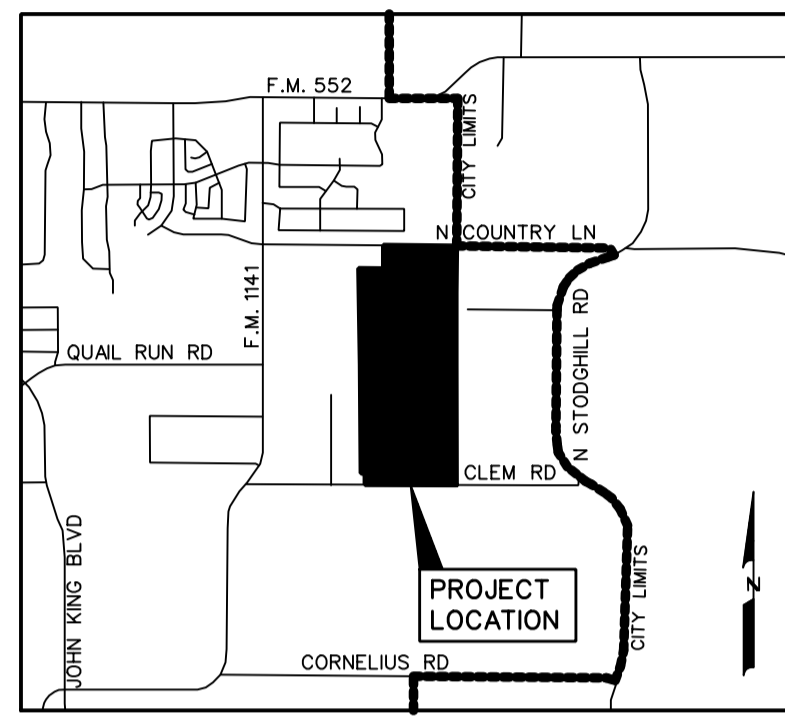
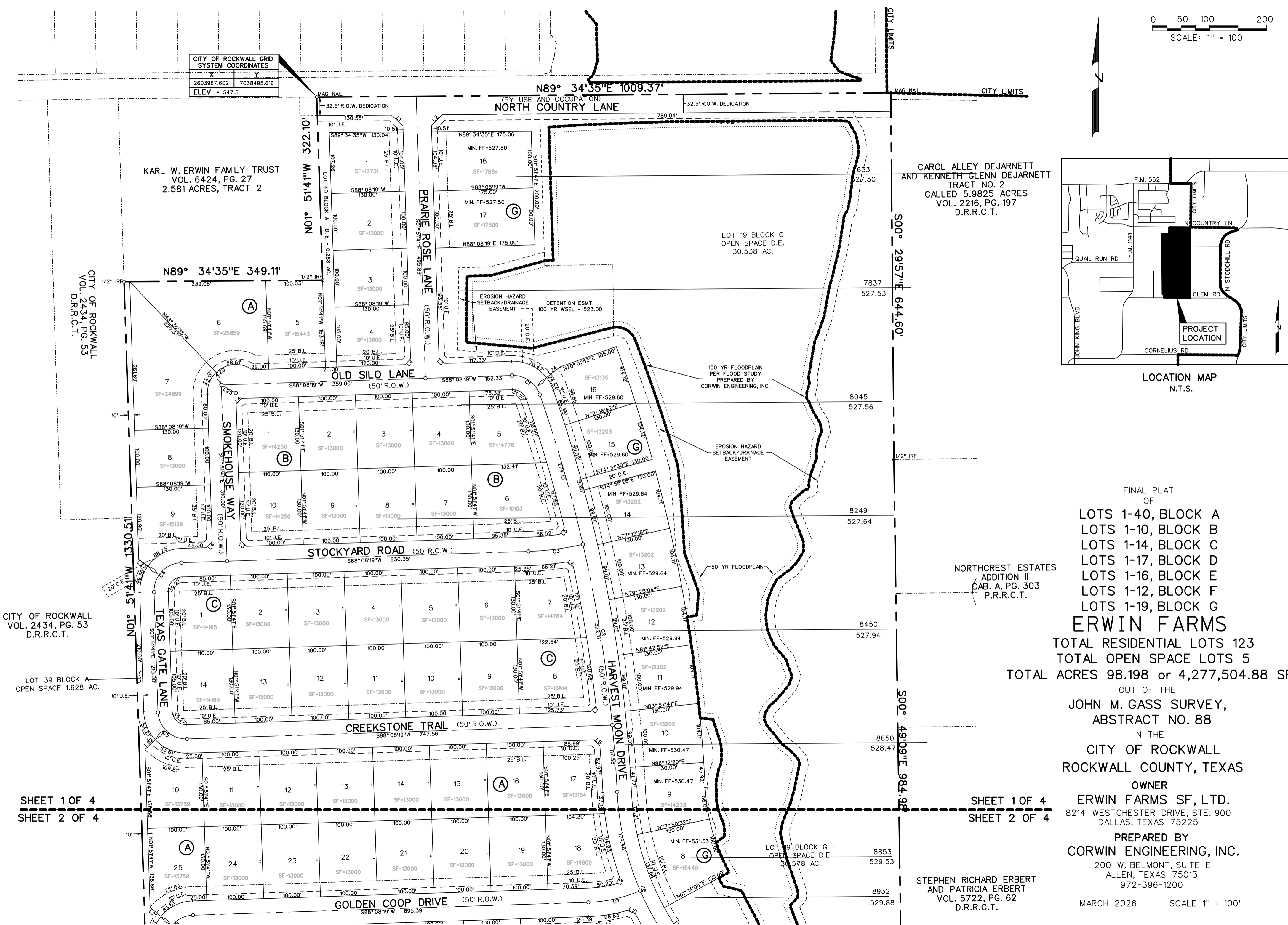
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
2603967.602	7038495.616
ELEV = 547.5	



LOCATION MAP
N.T.S.

FINAL PLAT
OF
 LOTS 1-40, BLOCK A
 LOTS 1-10, BLOCK B
 LOTS 1-14, BLOCK C
 LOTS 1-17, BLOCK D
 LOTS 1-16, BLOCK E
 LOTS 1-12, BLOCK F
 LOTS 1-19, BLOCK G
ERWIN FARMS
 TOTAL RESIDENTIAL LOTS 123
 TOTAL OPEN SPACE LOTS 5
 TOTAL ACRES 98.198 or 4,277,504.88 SF
 OUT OF THE
 JOHN M. GASS SURVEY,
 ABSTRACT NO. 88
 IN THE
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS
 OWNER
ERWIN FARMS SF, LTD.
 8214 WESTCHESTER DRIVE, STE. 900
 DALLAS, TEXAS 75225
 PREPARED BY
CORWIN ENGINEERING, INC.
 200 W. BELMONT, SUITE E
 ALLEN, TEXAS 75013
 972-396-1200
 MARCH 2026 SCALE 1" = 100'
 CASE #P2026-012 SHEET 1 OF 4

CITY OF ROCKWALL
VOL. 2434, PG. 53
D.R.R.C.T.

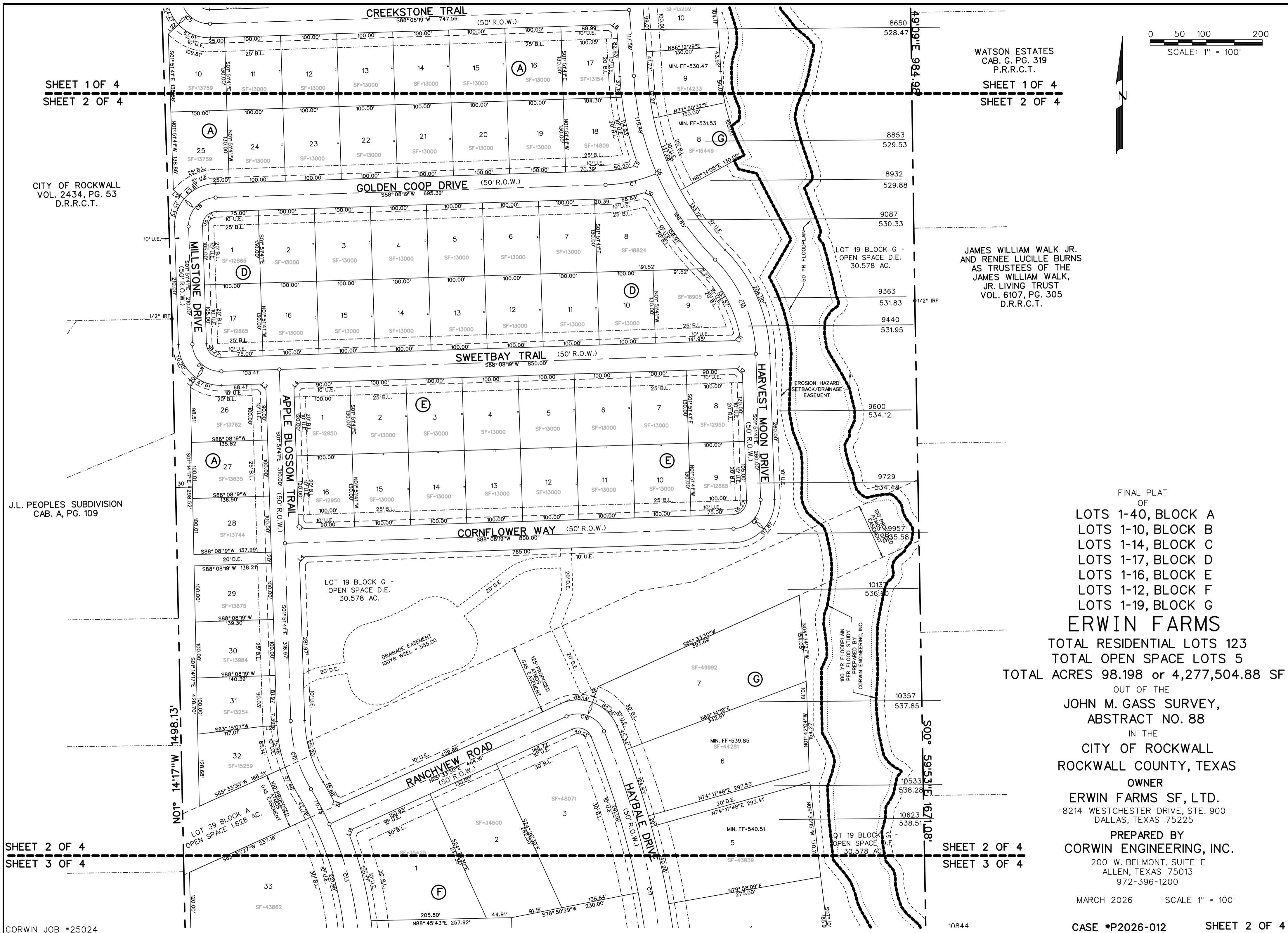
SHEET 1 OF 4
SHEET 2 OF 4

NORTHCREST ESTATES
ADDITION II
CAB. A, PG. 303
P.R.R.C.T.

SHEET 1 OF 4
SHEET 2 OF 4

CAROL ALLEY DEJARNETT
AND KENNETH GLENN DEJARNETT
TRACT NO. 2
CALLED 5.9825 ACRES
VOL. 2216, PG. 197
D.R.R.C.T.

STEPHEN RICHARD ERBERT
AND PATRICIA ERBERT
VOL. 5722, PG. 62
D.R.R.C.T.



SHEET 1 OF 4
SHEET 2 OF 4

CITY OF ROCKWALL
VOL. 2434, PG. 53
D.R.R.C.T.

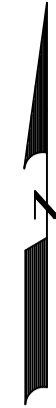
J.L. PEOPLES SUBDIVISION
CAB. A, PG. 109

WATSON ESTATES
CAB. G. PG. 319
P.R.R.C.T.

SHEET 1 OF 4
SHEET 2 OF 4

JAMES WILLIAM WALK JR.
AND RENEE LUCILLE BURNS
AS TRUSTEES OF THE
JAMES WILLIAM WALK,
JR. LIVING TRUST
VOL. 6107, PG. 305
D.R.R.C.T.

0 50 100 200
SCALE: 1" = 100'



FINAL PLAT

OF
LOTS 1-40, BLOCK A
LOTS 1-10, BLOCK B
LOTS 1-14, BLOCK C
LOTS 1-17, BLOCK D
LOTS 1-16, BLOCK E
LOTS 1-12, BLOCK F
LOTS 1-19, BLOCK G

ERWIN FARMS

TOTAL RESIDENTIAL LOTS 123
TOTAL OPEN SPACE LOTS 5
TOTAL ACRES 98.198 or 4,277,504.88 SF

OUT OF THE

JOHN M. GASS SURVEY,
ABSTRACT NO. 88

IN THE

CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER

ERWIN FARMS SF, LTD.

8214 WESTCHESTER DRIVE, STE. 900
DALLAS, TEXAS 75225

PREPARED BY

CORWIN ENGINEERING, INC.

200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

MARCH 2026

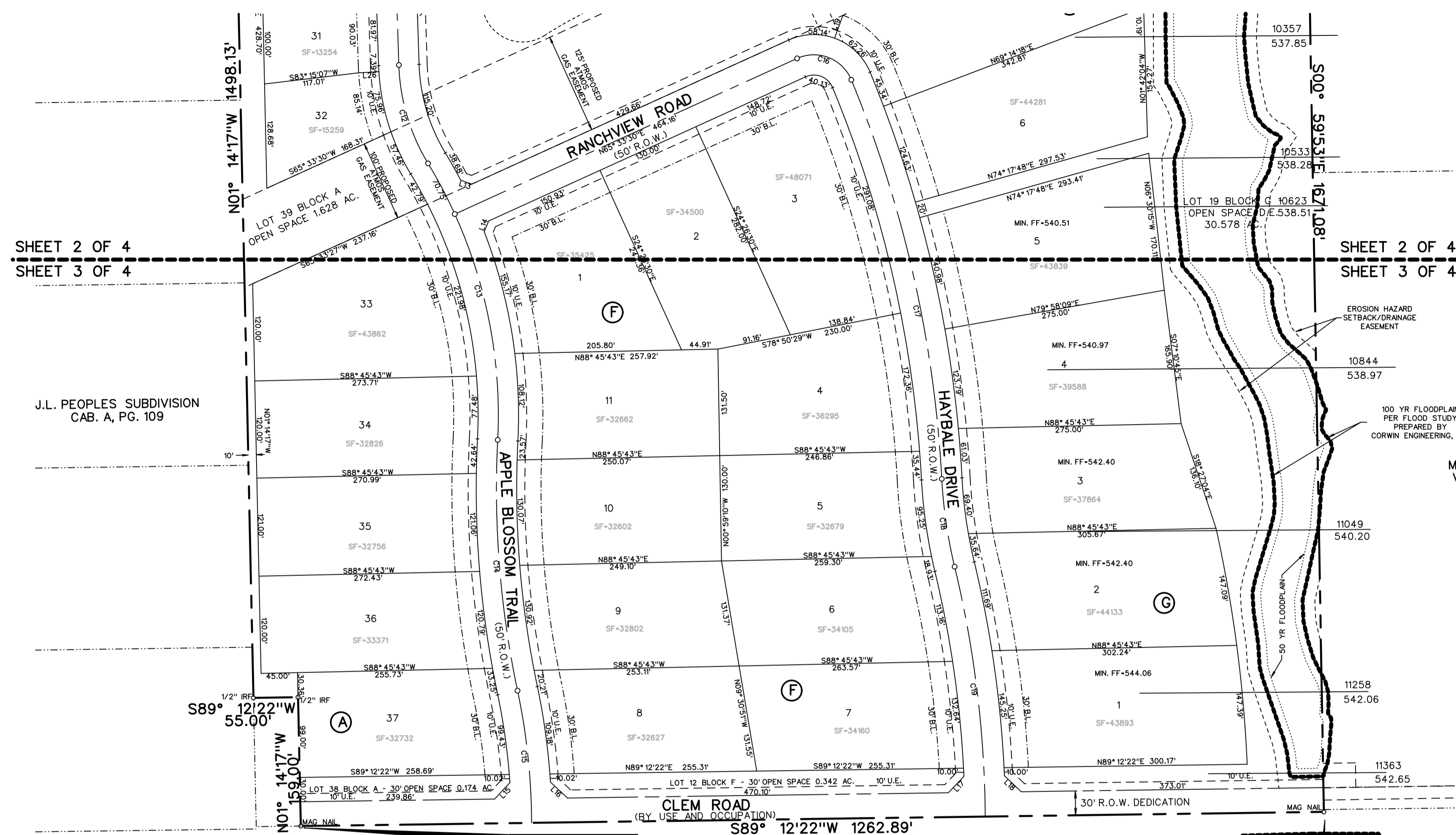
SCALE 1" = 100'

CASE #P2026-012

SHEET 2 OF 4

SHEET 2 OF 4
SHEET 3 OF 4

SHEET 2 OF 4
SHEET 3 OF 4



SHEET 2 OF 4
SHEET 3 OF 4

SHEET 2 OF 4
SHEET 3 OF 4

J.L. PEOPLES SUBDIVISION
CAB. A, PG. 109

EROSION HAZARD
SETBACK/DRAINAGE
EASEMENT

100 YR FLOODPLAIN
PER FLOOD STUDY
PREPARED BY
CORWIN ENGINEERING, INC.

MUSTANG ACRES
VOL. P, PG. 377

FINAL PLAT
OF
LOTS 1-40, BLOCK A
LOTS 1-10, BLOCK B
LOTS 1-14, BLOCK C
LOTS 1-17, BLOCK D
LOTS 1-16, BLOCK E
LOTS 1-12, BLOCK F
LOTS 1-19, BLOCK G

ERWIN FARMS

TOTAL RESIDENTIAL LOTS 123
TOTAL OPEN SPACE LOTS 5
TOTAL ACRES 98.198 or 4,277,504.88 SF

OUT OF THE
JOHN M. GASS SURVEY,
ABSTRACT NO. 88
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OWNER
ERWIN FARMS SF, LTD.
8214 WESTCHESTER DRIVE, STE. 900
DALLAS, TEXAS 75225

PREPARED BY
CORWIN ENGINEERING, INC.
200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

MARCH 2026 SCALE 1" = 100'

NOTES:

- Bearings are referenced to a 196.008 acre tract, as recorded in Deed No. 20210000032297 in the Deed Records of Rockwall County, Texas.
- All lot lines are radial or perpendicular to the street unless otherwise noted by bearing.
- 1/2" iron rods with "CORWIN ENGR. INC." caps set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted.
- LEGEND
B.L. - Building Line
U.E. - Utility Easements
C.M. - Controlling Monument
S.S.E. - Sanitary Sewer Easement
D.E. - Drainage Easement
--- - City Limits Line
◇ - Street Name Change
- Selling a portion of this addition by metes and bounds is unlawful and a violation of the Subdivision Ordinance of the City of Rockwall and Chapter 212, Municipal Regulation of Subdivisions and Property Development, of the Texas Local Government Code, and shall be subject to the City of Rockwall withholding utilities and building permits.
- It shall be the policy of the City of Rockwall to withhold issuing buildings permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a subdivision plat by the City of Rockwall does not constitute any representation, assurance or guarantee that any building within such subdivision plat shall be approved, authorized, or permit issued, nor shall such approval constitute any representation, assurance or guarantee by the City of Rockwall of the adequacy and availability for water and sanitary sewer for personal use and fire protection within such subdivision plat, as required under the Subdivision Ordinance of the City of Rockwall.
- The property owner shall be responsible for maintaining, repairing, and replacing and shall bear sole liability of all systems within the drainage and detention easements.
- All decorative signage posts, or lights installed in public right-of-way shall be installed, maintained, repaired, and replaced by the Homeowner's Association (HOA).
- Refer to Sheet 1 of Civil Engineering plans for NTMWD notes.
- All landscape, drainage and detention easements are to be owned, maintained, repaired and replaced by the Homeowners Association.

CITY OF ROCKWALL GRID SYSTEM COORDINATES	
X	Y
2603771.443	7035215.911
ELEV = 571.5	

POINT OF BEGINNING

APPROVED

I hereby certify that the above and foregoing ERWIN FARMS was reviewed by the Planning and Zoning Commission and approved by the City Council of the City of Rockwall, Texas for the preparation of a Final Plat on the _____ day of _____, 2026.

Mayor, City of Rockwall

Planning & Zoning Commission

City Secretary

City Engineer

LEGAL DESCRIPTION

BEING, a tract of land situated in the John M Gass Survey, Abstract No. 88 in the City of Rockwall, Rockwall County, Texas, being all of a 98.198 acre tract, as described in Clerks File No. in the Deed Records of Rockwall County, Texas being more particularly described as follows:

BEGINNING, at a mag nail found at the southeast corner of said 98.198 acre tract and being in Clem Road (Variable R.O.W.):

THENCE, South 89° 12' 22" West, along the south line of said 98.198 acre tract and along Clem Road, for a distance of 1262.89 feet, to a mag nail found at the most southerly southwest corner of said 98.198 acre tract;

THENCE, North 01° 14' 17" West, departing Clem Road and along the west line of said 98.198 acre tract, for a distance of 159.00 feet, to a 1/2 inch iron rod found;

THENCE, South 89° 12' 22" West, continuing along said west line, for a distance of 55.00 feet, to a 1/2 inch iron rod found;

THENCE, North 01° 14' 17" West, continuing along said west line, for a distance of 1498.13 feet, to a 1/2 inch iron rod found;

THENCE, North 01° 51' 41" West, continuing along said west line, for a distance of 1330.51 feet, to a 1/2 inch iron rod found at the most westerly northwest corner of said 98.198 acre tract;

THENCE, North 89° 34' 35" East, along a north line of said 98.198 acre tract, for a distance of 349.11 feet, to a 1/2 inch iron rod found at an interior ell corner of said 98.198 acre tract;

THENCE, North 01° 51' 41" West, along the west line of said 98.198 acre tract, for a distance of 322.10 feet, to a mag nail found at the most northerly northwest corner of said 98.198 acre tract and being in North Country Lane (Variable R.O.W.):

THENCE, North 89° 34' 35" East, along the north line of said 98.198 acre tract and with said North Country Lane, for a distance of 1009.37 feet, to a mag nail found and the northeast corner of said 98.198 acre tract;

THENCE, South 00° 29' 57" East, departing said North Country Lane and along the east line of said 98.198 acre tract, for a distance of 644.60 feet, to a 1/2 inch iron rod found;

THENCE, South 00° 49' 09" East, continuing along said east line, for a distance of 984.98 feet, to a 1/2 inch iron rod found;

THENCE, South 00° 59' 53" East, continuing along said east line, for a distance of 1671.08 feet, to the POINT OF BEGINNING and containing 98.198 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
STATE OF TEXAS
COUNTY OF ROCKWALL

I (we) the undersigned owner(s) of the land shown on this plat, and designated herein as the ERWIN FARMS subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I (we) further certify that all other parties who have a mortgage or lien interest in the ERWIN FARMS subdivision have been notified and signed this plat. I (we) understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. I (we) also understand the following:

- No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.
- Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.
- The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.
- The developer/property owner and subdivision engineer shall bear total responsibility for storm drain improvements.
- The developer/property owner shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.
- No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Rockwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

I (we) further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim, damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.

ERWIN FARMS SF, LTD.

John Arnold

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, on this day personally appeared JOHN ARNOLD, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____ day of _____, 2026.

Notary Public in and for the State of Texas

FINAL PLAT
OF
LOTS 1-40, BLOCK A
LOTS 1-10, BLOCK B
LOTS 1-14, BLOCK C
LOTS 1-17, BLOCK D
LOTS 1-16, BLOCK E
LOTS 1-12, BLOCK F
LOTS 1-19, BLOCK G

ERWIN FARMS
TOTAL RESIDENTIAL LOTS 123
TOTAL OPEN SPACE LOTS 5
TOTAL ACRES 98.198 or 4,277,504.88 SF

OUT OF THE
JOHN M. GASS SURVEY,
ABSTRACT NO. 88
IN THE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
OWNER

ERWIN FARMS SF, LTD.
8214 WESTCHESTER DRIVE, STE. 900
DALLAS, TEXAS 75225

PREPARED BY
CORWIN ENGINEERING, INC.

200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

MARCH 2026

LINE TABLE

CURVE TABLE

LINE NO.	BEARING	DISTANCE	CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	S 46° 08' 33" E	27.92'	1.	72° 39' 25"	50.00'	63.41'	37.14'	N55° 31' 59"W
2.	N 43° 51' 27" E	27.23'	2.	16° 21' 37"	2500.00'	713.85'	711.43'	N11° 01' 28"W
3.	S 46° 51' 41" E	14.14'	3.	11° 03' 38"	500.00'	96.52'	96.37'	N82° 36' 30"E
4.	S 43° 08' 19" W	14.14'	4.	90° 00' 01"	50.00'	78.54'	70.71'	N43° 08' 19"E
5.	S 33° 33' 33" W	13.63'	5.	90° 00' 03"	50.00'	78.54'	70.71'	S46° 51' 43"E
6.	N 55° 57' 03" W	14.47'	6.	41° 58' 42"	500.00'	366.33'	358.19'	S23° 50' 00"E
7.	S 40° 55' 44" W	13.63'	7.	21° 32' 58"	250.00'	94.03'	93.47'	N77° 21' 49"E
8.	N 48° 22' 26" W	14.53'	8.	89° 59' 58"	50.00'	78.54'	70.71'	N43° 08' 18"E
9.	N 27° 06' 09" E	13.66'	9.	90° 00' 00"	50.00'	78.54'	70.71'	S46° 51' 41"E
10.	S 66° 56' 58" E	15.41'	10.	42° 57' 40"	250.00'	187.45'	183.09'	N23° 20' 32"W
11.	S 39° 13' 32" W	13.27'	11.	90° 00' 00"	50.00'	78.54'	70.71'	N43° 08' 19"E
12.	S 46° 51' 41" E	14.14'	12.	29° 20' 11"	250.00'	128.00'	126.61'	S16° 31' 47"E
13.	N 70° 48' 26" W	14.49'	13.	34° 06' 14"	600.00'	357.13'	351.89'	S14° 08' 45"E
14.	N 21° 55' 27" E	14.49'	14.	14° 51' 40"	1200.00'	311.25'	310.38'	S04° 31' 29"E
15.	S 43° 01' 42" W	27.72'	15.	11° 46' 13"	800.00'	164.34'	164.05'	S06° 04' 13"E
16.	S 46° 52' 37" E	28.83'	16.	91° 58' 34"	50.00'	80.26'	71.92'	N68° 27' 13"W
17.	S 43° 31' 33" W	27.95'	17.	19° 22' 42"	1500.00'	507.32'	504.91'	N12° 46' 34"W
18.	S 46° 26' 30" E	28.61'	18.	10° 28' 01"	600.00'	109.61'	109.46'	N08° 19' 14"W
19.	N 19° 58' 26" E	30.00'	19.	13° 07' 06"	1360.00'	311.38'	310.70'	N06° 59' 42"W
20.	N 34° 30' 34" E	20.00'						
21.	N 50° 27' 07" W	25.00'						
22.	S 46° 43' 44" W	25.00'						
23.	S 53° 59' 52" E	20.00'						
24.	N 51° 58' 28" E	30.41'						
25.	N 60° 53' 52" W	29.15'						
26.	S 86° 36' 00" W	25.00'						

SURVEYOR CERTIFICATE

I, WARREN L. CORWIN, do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made under my direction and supervision and all corners are as shown thereon and there are no encroachments, conflicts, protrusions or visible utilities on the ground except as shown and said plat has been prepared in accordance with the platting rules and regulations of the City Plan Commission of the City of Rockwall, Texas.

DATED the this _____ day of _____, 2026.

WARREN L. CORWIN
R.P.L.S. No. 4621



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: April 14, 2026

APPLICANT: Aaron C. Hawkins; *Quiddity Engineering*

CASE NUMBER: SP2026-009; *Site Plan for a Restaurant Greater Than 2,000 SF with Drive-Through or Drive-In (Raising Canes)*

SUMMARY

Discuss and consider a request by Aaron C. Hawkins of Quiddity Engineering on behalf of Matt McCulloch of Raising Cane's for the approval of a Site Plan for an existing *Restaurant, Greater Than 2,000 SF, with Drive-Through or Drive-In* on a 2.951-acre parcel of land identified as Lot 3, Block 1, Rockwall Centre Corners Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District and Commercial (C) District, situated within the IH-30 Corridor Overlay (IH-30 OV) District, addressed as 1114 E. IH-30, and take any action necessary.

BACKGROUND

Based on the City's annexation ordinances, the subject property was annexed on November 7, 1960 by *Ordinance No. 60-02*. According to the City's *Historic Zoning Maps*, the subject property was zoned Commercial (C) District as of January 3, 1972. Sometime between January 3, 1972, and December 7, 1993, the zoning of the subject property changed from Commercial (C) District to a combination of Commercial (C) and Light Industrial (LI) Districts. On May 20, 2013, the City Council approved a site plan [*i.e. Case No. SP2013-005*] for the construction of a Restaurant [*i.e. Raising Canes*] on the subject property. The property was issued a building permit [*i.e. BLD2016-1251*] on May 18, 2016 for the purpose of adding a patio and guard rails to the existing restaurant.

PURPOSE

On March 13, 2026, the applicant -- *Aaron C. Hawkins of Quiddity Engineering* -- submitted an application requesting the approval of a site plan for a *Restaurant Greater Than 2,000 SF with Drive-Through or Drive-In* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at 1114 E. IH-30. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound lanes of the IH-30 Frontage Road, followed by the main lanes of IH-30, and the westbound lanes of the IH-30 Frontage Road. Following this is an 8.635-acre parcel of land (*i.e. Lot 3, Block A, Lakeside Chevrolet Addition*) zoned Commercial (C) District and developed with a *Car Dealership*.

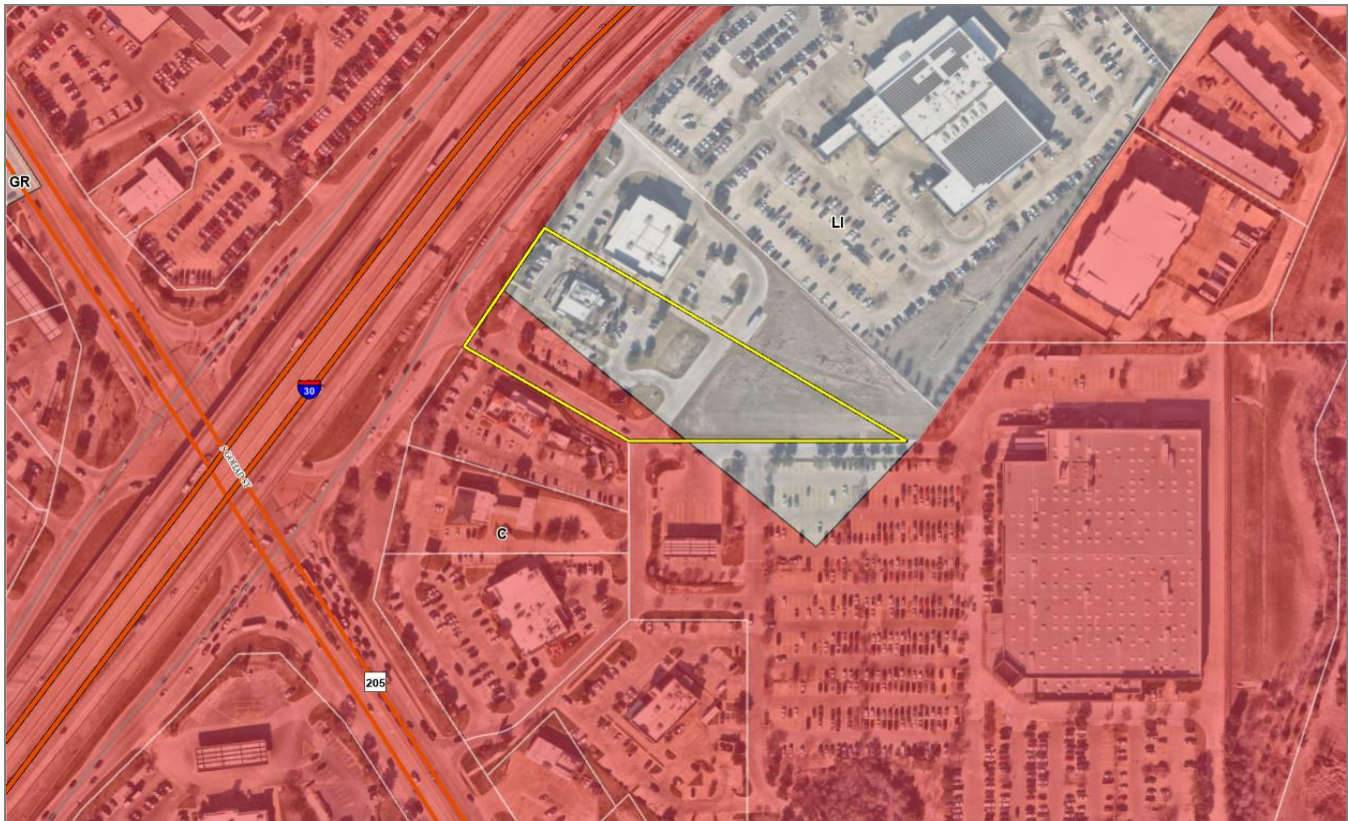
South: Directly south of the subject property is a 20.2904-acre parcel of land (*i.e. 1225 SH-276*) developed with a retail business (*i.e. Costco*). This property is zoned Commercial (C) District. Beyond this is Old SH-276, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are three (3) parcels of land (*i.e. 1154, 1250, & 1290 E. IH-30*), which consist of three (3) commercial businesses (*i.e. La-Z-Boy, Rockwall Toyota, & Shenaniganz*). All of these properties are zoned Light Industrial (LI) District. East of this is S. T. L. Townsend Drive, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown

Vision 2040 Comprehensive Plan. Beyond this is one (1) parcel of land (i.e. Lot 1, Block 1, Cullins Addition), which is developed with a commercial business (i.e. Best Little Body Shop in Texas).

West: Directly west of the subject property are two (2) parcels of land (i.e. 1102 & 1106 E. IH-30) developed with one (1) commercial business and one (1) financial institution (i.e. In-N-Out Burgers & Hancock Whitney). West of this is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 10.559-acre parcel of land (i.e. Lot 3, Block A, Travel Centers of American Addition), which is zoned Commercial (C) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant Greater Than 2,000 SF with Drive-Through or Drive-In* is permitted in the Commercial (C) and Light Industrial (LI) District. The submitted site plan, landscape plan, treescape plan, photometric plan and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) and Light Industrial (LI) Districts. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF; 12,500 SF	X=128,583 SF; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet; 100-Feet	X>100-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet; 125-Feet	X>100-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet; 25-Feet	X=25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X=10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X=15-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=23 ½ -feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X<60%; In Conformance

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Number of Parking Spaces</i>	1/100 SF ¼ SF (Patio)= 42 spaces total	X=42; In Conformance
<i>Minimum Landscaping Percentage</i>	20% & 15%	X>15%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=47.26%; In Conformance

TREESCAPE PLAN

The Treescape Plan submitted by the applicant indicates the removal of one (1) crape myrtle measuring 14 caliper inches, six (6) gem magnolia trees measuring 37 caliper inches, three (3) red oak trees measuring 24 caliper inches, and eleven (11) bald cypress trees measuring 140 caliper inches in size from the subject property for a total of 215 caliper inches as part of the proposed development. To offset the proposed tree removal, the applicant’s landscape plan provides for the installation of 54 canopy trees, each with being four (4) caliper inches in size, which totals 216 caliper inches of tree being added to the subject property. Accordingly, the proposed landscape plan meets the mitigation requirements of the Unified Development Code (UDC).

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 02.02(F)(29), of Article 13, *Definitions*, of the Unified Development Code (UDC) a *Restaurant with 2,000 SF or More with Drive-Through or Drive-In* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.” The proposed site plan generally conforms to the standards of the *General Commercial District Standards*, *General Light Industrial District Standards*, and the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC).

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As previously noted, the applicant’s request generally complies with the requirements of the Commercial (C) District, Light Industrial (LI) District, and the Unified Development Code (UDC), and does not require any variances or exceptions.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *IH-30 Corridor District* and is designated for *Special Commercial Corridor (SC)* land uses. This land use designation is defined as being “...intended to provide an area for commercial/retail and regional commercial/retail activity centers that are intended to support and serve the entire region...” Additionally, according to the *Corridor Zones*, the subject property is located within the *Preservation Zone*, which is “ (a) segment of the existing corridor that is being utilized with the highest and best uses for the properties in that zone, and should be maintained and supported.” In this case, the applicant is expanding an existing *Restaurant Greater Than 2,000 SF with Drive-Through or Drive-In [i.e. Raising Cane’s]*. Given this, the applicant is not changing the conformance of the subject property to the OURHometown Vision 2040 Comprehensive Plan

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On March 31, 2026, the Architectural Review Board (ARB) reviewed the proposed building elevations, and requested that the applicant provide elevations for the proposed canopies over the drive-through. The Architectural Review Board (ARB) will review the applicant’s revised building elevations and provide a recommendation to the Planning and Zoning Commission at the April 14, 2026 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s Site Plan for a *Restaurant Greater Than 2,000 SF with Drive-Through* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. SP2026-009

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1114 East Interstate 30, Rockwall, TX 75087

SUBDIVISION Rockwall Centre Corners Addition

LOT

3

BLOCK

1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

L1

CURRENT USE

Full service restaurant

PROPOSED ZONING

L1

PROPOSED USE

Full service restaurant

ACREAGE

2.951

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Raising Cane's

APPLICANT

Quiddity Engineering

CONTACT PERSON

Matt McCulloch

CONTACT PERSON

Aaron C. Hawkins

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

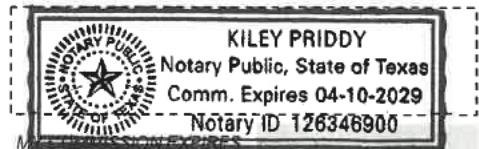
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt McCulloch [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 310.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF March 2026 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

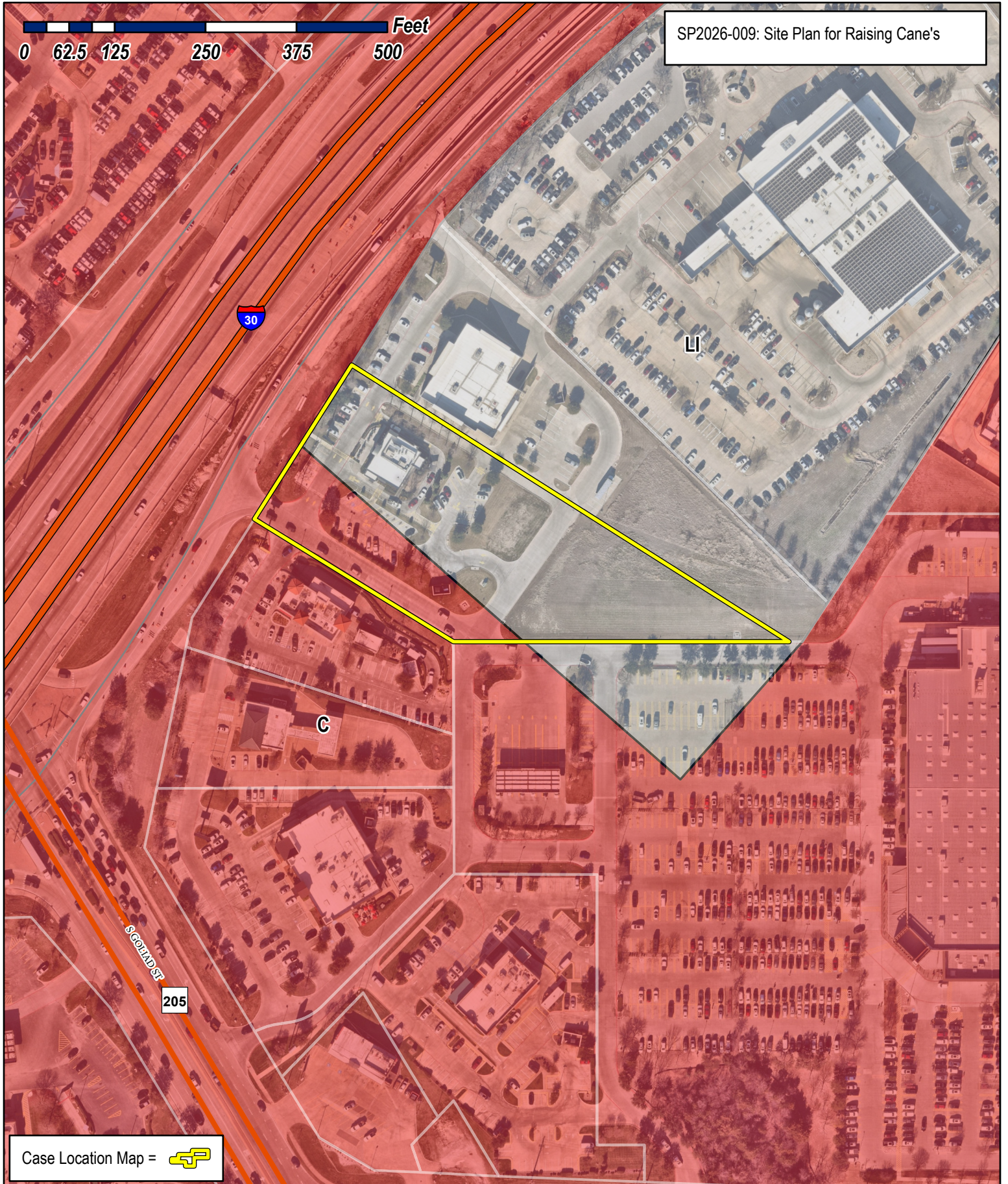
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11 DAY OF March, 2026


OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



SP2026-009: Site Plan for Raising Cane's



Case Location Map = 



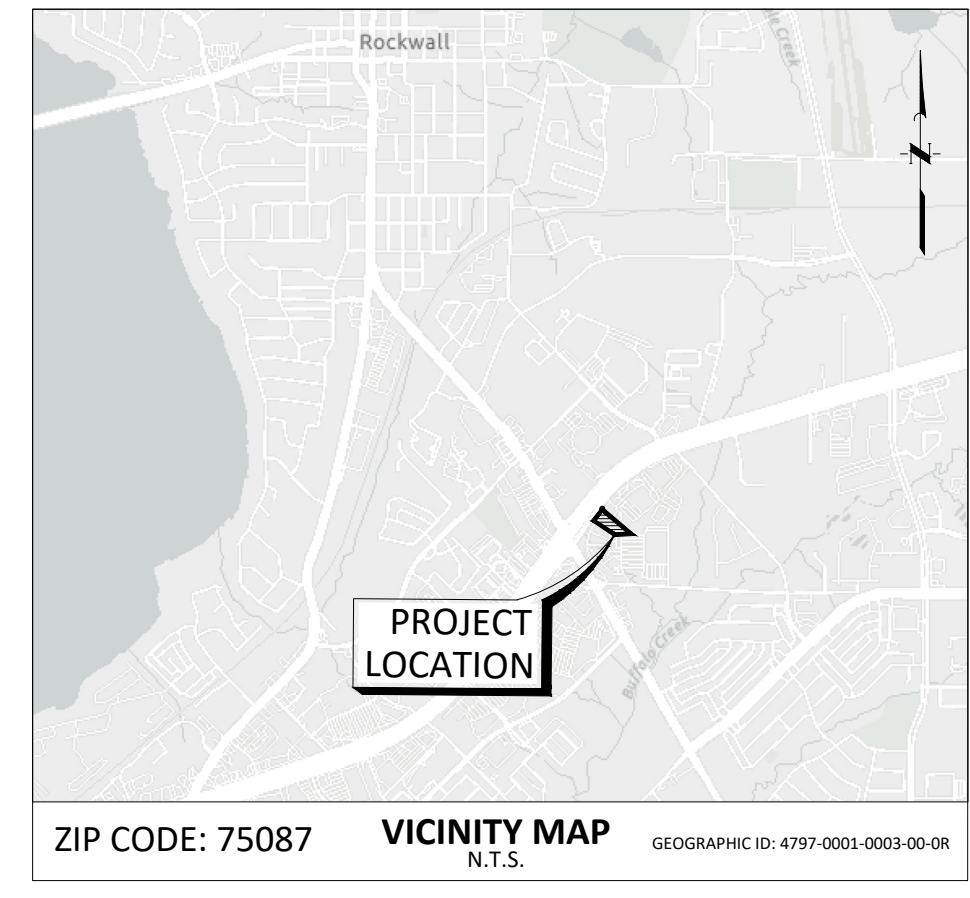
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



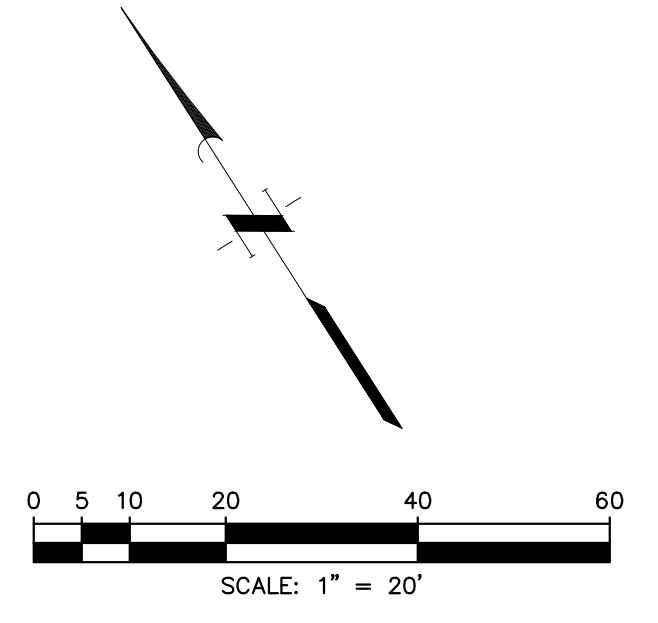
SITE DATA TABLE FOR RAISING CANES REDEVELOPMENT ROCKWALL CENTRE CORNERS ADDITION BLOCK 1, LOT 3	
GENERAL	
EXISTING ZONING:	L/C WITH IH 30 OVERLAY
PROPOSED ZONING:	L/C WITH IH 30 OVERLAY
CURRENT USE:	DRIVE-THRU RESTAURANT
PROPOSED USE:	DRIVE-THRU RESTAURANT
FRONT SETBACK:	25 FEET
SIDE SETBACK:	15 FEET
REAR SETBACK:	10 FEET
TOTAL LOT AREA:	128,583 SQUARE FEET (2.951 AC)
PERIMETER OF LOT:	1,748 FEET
BUILDING AREA:	3,600 SQUARE FEET
PERIMETER OF EXISTING BUILDING:	293 FEET
BUILDING COVERAGE:	2.80%
FLOOR AREA RATIO:	0.03 : 1
EXISTING BUILDING HEIGHT:	1 STORY - 23.5 FEET
PARKING RATIO:	1 SPACE / 100 SF GROSS BUILDING AREA
PARKING RATIO (PATIO):	1 SPACE / 4 SEATS
PARKING REQUIRED:	42 SPACES
PARKING PROVIDED:	42 SPACES
ADA PARKING REQUIRED:	2 SPACES
ADA PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA PROPOSED:	7,037 SQUARE FEET (0.16 AC)
IMPERVIOUS AREA PROPOSED:	10,791 SQUARE FEET (0.25 AC)
TOTAL IMPERVIOUS AREA:	60,755 SQUARE FEET (1.39 AC)
IMPERVIOUS AREA PERCENTAGE:	47.26%



BENCHMARK
Elevations were obtained with Real Time Kinematic Global Positioning Satellite Equipment and are based on Static Data Post Processed utilizing OPUS at NGS.gov. Elevations are NAVD 88 and post processed with the following GPS Base Stations:
BASE STATIONS USED
PID DESIGNATION
DF8988 TXES ELLIS CORS ARP
DL5084 TXSR SHERMAN CORS ARP
DL3498 TXSN BONHAM CORS ARP
TBM A
Temporary Benchmark A being an "X" cut on the northeast corner of a storm inlet located at the northeast corner of the intersection of the southern east-west driveway where the driveway also goes northeast within the boundary of the subject tract shown herein.
Elevation = 546.51 feet, NAVD 88.

TBM B
Temporary Benchmark B being an "X" cut on the northeast corner of a storm inlet located at the northeast corner of the intersection of the southern east-west driveway where the driveway also goes northeast within the boundary of the subject tract shown herein.
Elevation = 546.51 feet, NAVD 88.

100-YEAR FLOOD PLAIN
ACCORDING TO MAP NO. 48397C0040L OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR ROCKWALL COUNTY DATED SEPTEMBER 26, 2008, THE SUBJECT TRACT IS SITUATED WITHIN UNSHADED ZONE "X", DEFINED AS AREA OF MINIMAL FLOOD HAZARD.

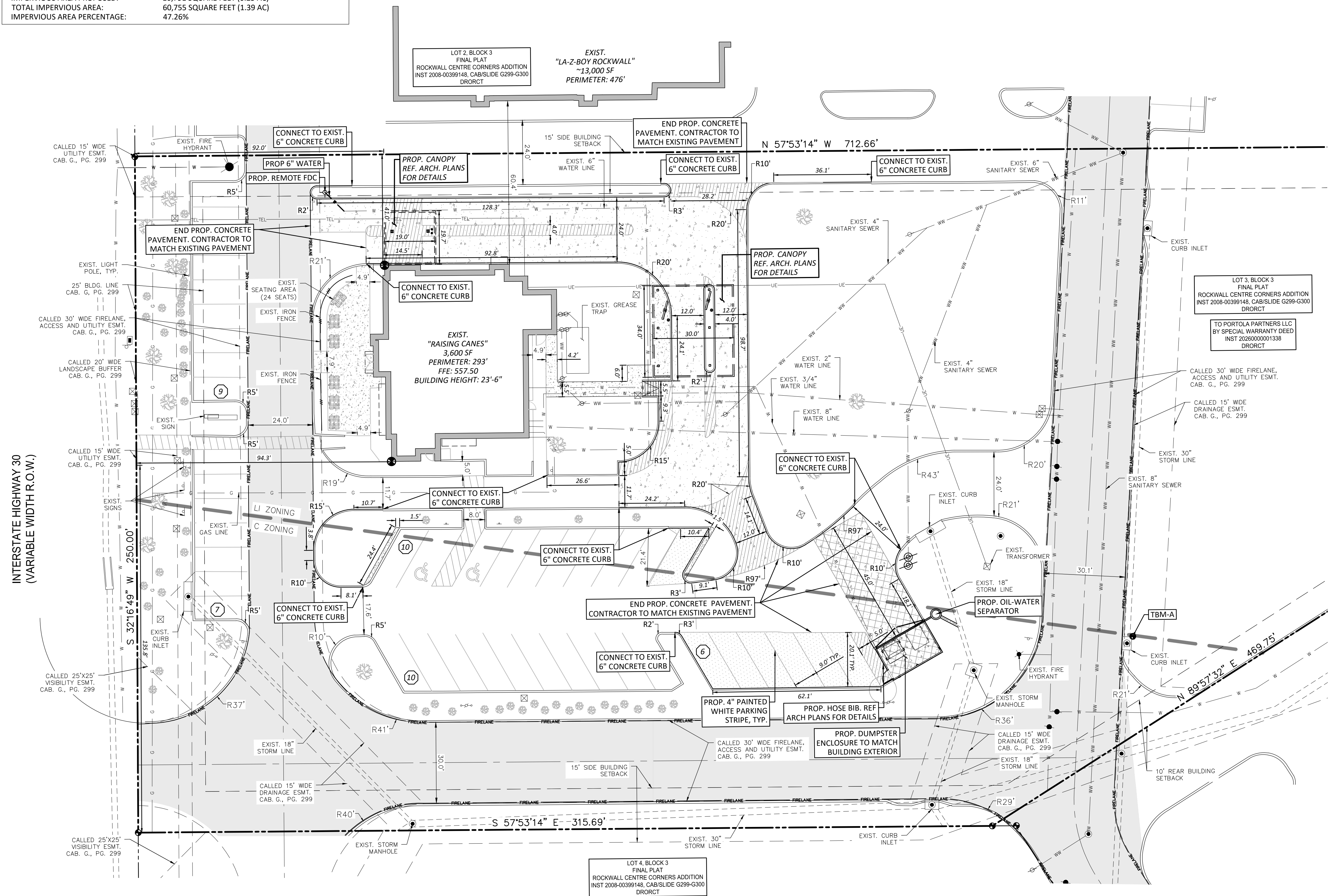


LEGEND

- PROPERTY LINE
- PROP. BARRIER FREE RAMP
- PARKING COUNT
- EXIST. TREE
- EXIST. LIGHT POLE
- PROP. 7' REINFORCED CONCRETE
- PROP. 5' REINFORCED CONCRETE
- PROP. 4' REINFORCED CONCRETE PAVEMENT
- FIRELANE, ACCESS & UTILITY EASEMENT
- PROP. MENU BOARD

NOTES

1. ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
2. ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
3. SEE ARCHITECT PLANS FOR EXACT BUILDING DIMENSIONS. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. CONTRACTOR TO USE CARE NOT TO DISTURB EXISTING LANDSCAPING OUTSIDE DISTURBED AREA. IF DISTURBED, CONTRACTOR TO RESTORE TO ORIGINAL CONDITIONS OR BETTER.
5. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UTILITIES.



No.	Date	REVISIONS

QUIDDITY
Civil/Structural/Professional Engineering and Land Surveying, Inc. No. 22,202
4000 Westport Road, Suite 100, Rockwall, Texas 75087-2202

SCALE: AS SHOWN
DATE: APRIL 2026
JOB NO.: 30315-0001-01

DESIGNED BY: AM
CHECKED BY: ACH
DRAWN BY: JLU & DA

INTERIM REVIEW
Not intended for construction, bidding or permit purposes.
Engineer: AARON C. HAWKINS
P.E. Serial No.: 149709
Date: APRIL 2026

SITE PLAN
ROCKWALL CENTRE CORNERS ADDITION
BLOCK 1, LOT 3, ACRES 2.951

RAISING CANES - ROCKWALL - I-30 FRONTAGE ROAD
1114 EAST I-30 FRONTAGE ROAD, ROCKWALL, TEXAS, 75087

DEVELOPER: RAISING CANES, 6800 BISHOP ROAD, PLANO, TEXAS 75024, TEL (225) 279-0078, CONTACT: BEN HALBERT

OWNER: PORTOLA PARTNERS LLC (1108431), 311 BILTMORE WAY, LAFAYETTE LA 70508

ENGINEER: QUIDDITY, INC., 4500 MERCANTILE PLAZA DRIVE SUITE 228, FORT WORTH, TEXAS 76137, TEL (882) 268-2207, CONTACT: AARON HAWKINS, PE

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___. WITNESS OUR HANDS, THIS ___ DAY OF ___.
PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

CASE NO. SP2026-009

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

SHEET NO. C-18

FOR INTERNAL REVIEW ONLY. NOT FOR DISTRIBUTION

CONSULTANT:



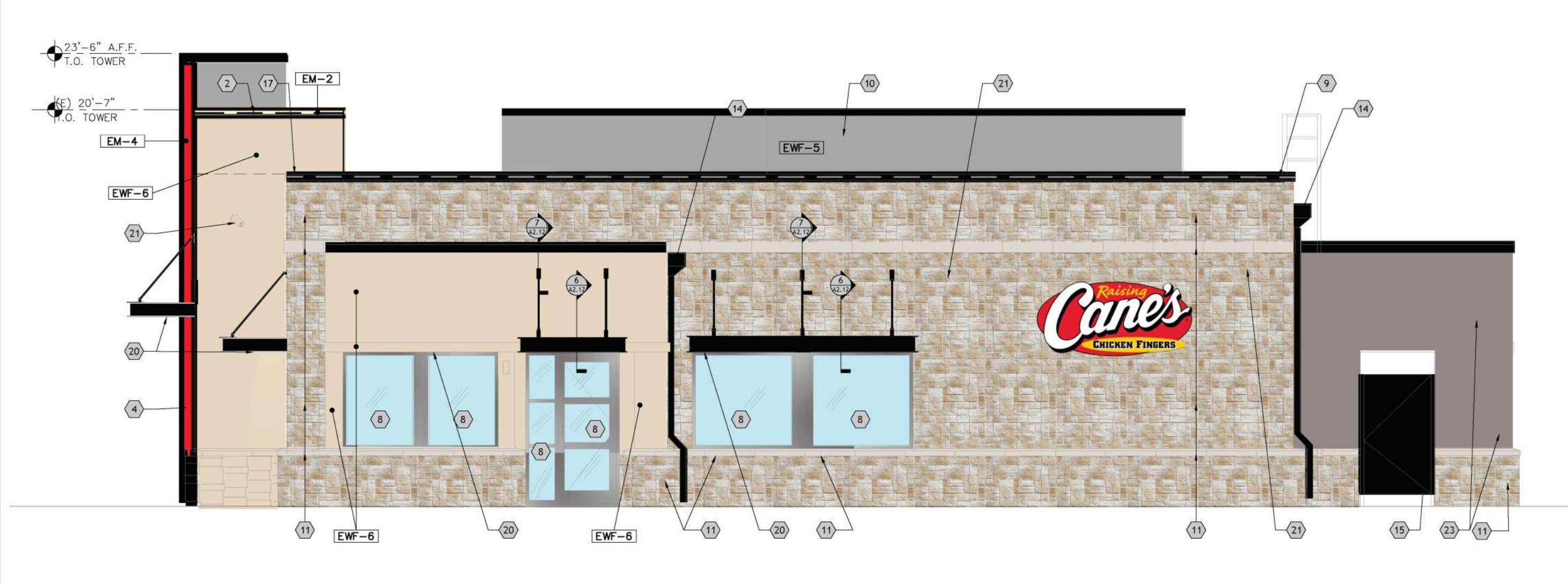
PROTOTYPE P1
RAISING CANE'S
 RESTAURANT NO.: C0152
 1114 E INTERSTATE 30
 ROCKWALL, TX 75087

REV	DATE	DESCRIPTION
02/12/2026		R01 CHECK SET

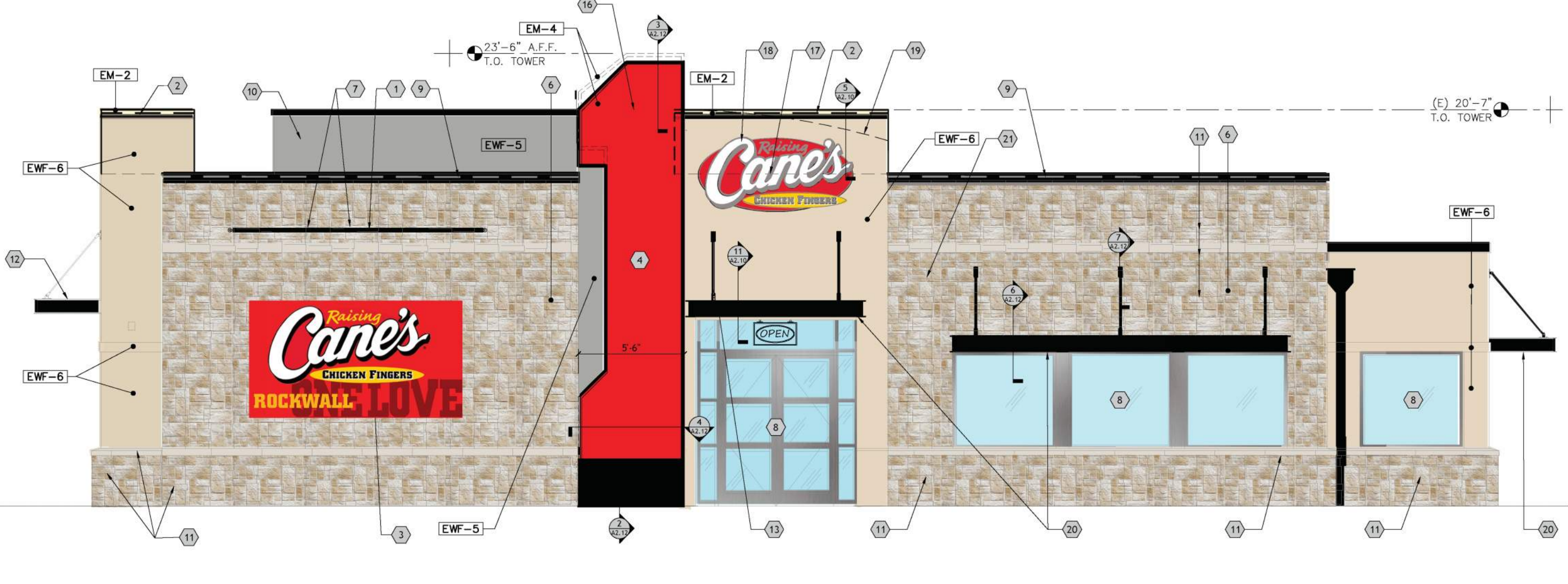
DRAWN BY: JP
 CHECKED BY: BP
 ARCH. PROJECT NO.: C0152
 SHEET NAME:

EXTERIOR ELEVATIONS

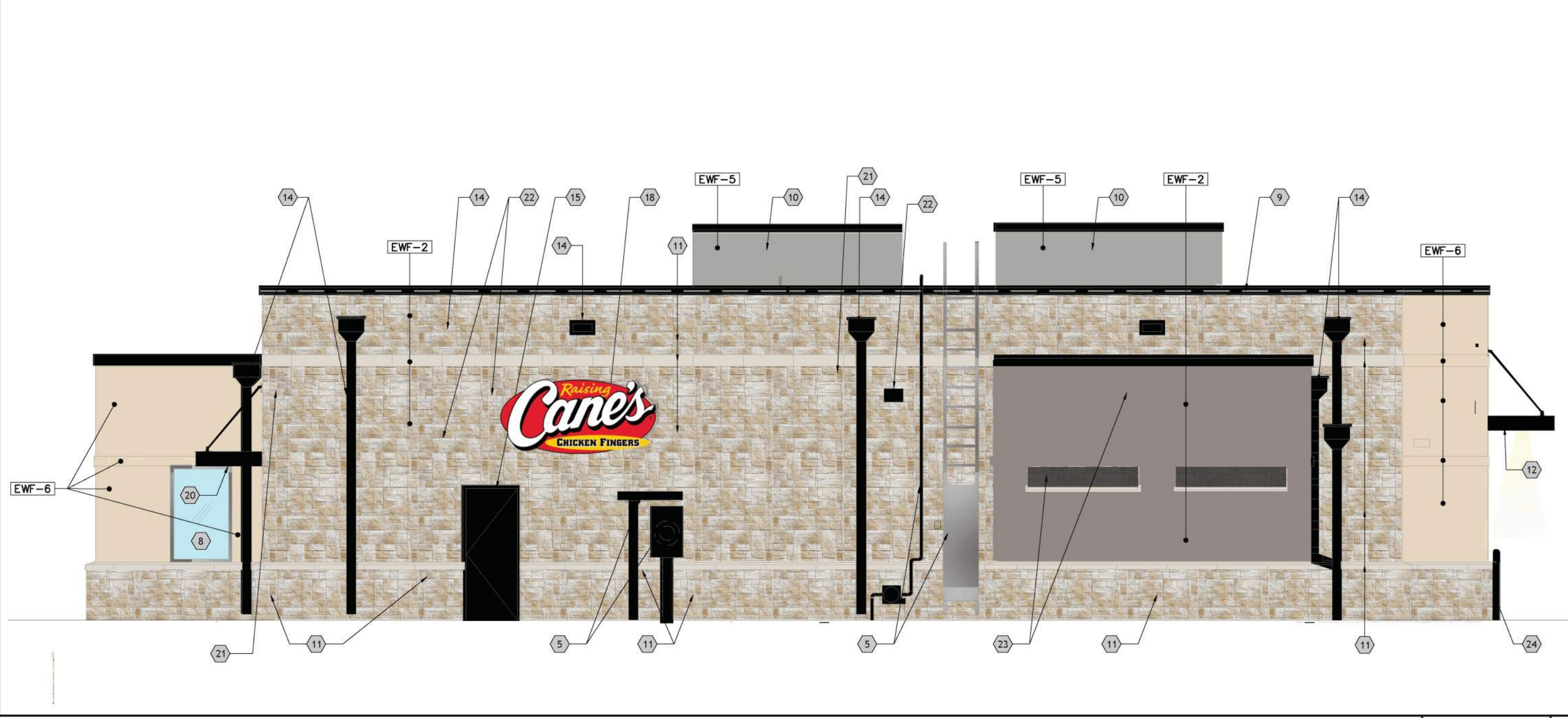
SHEET NUMBER: **A2.10**



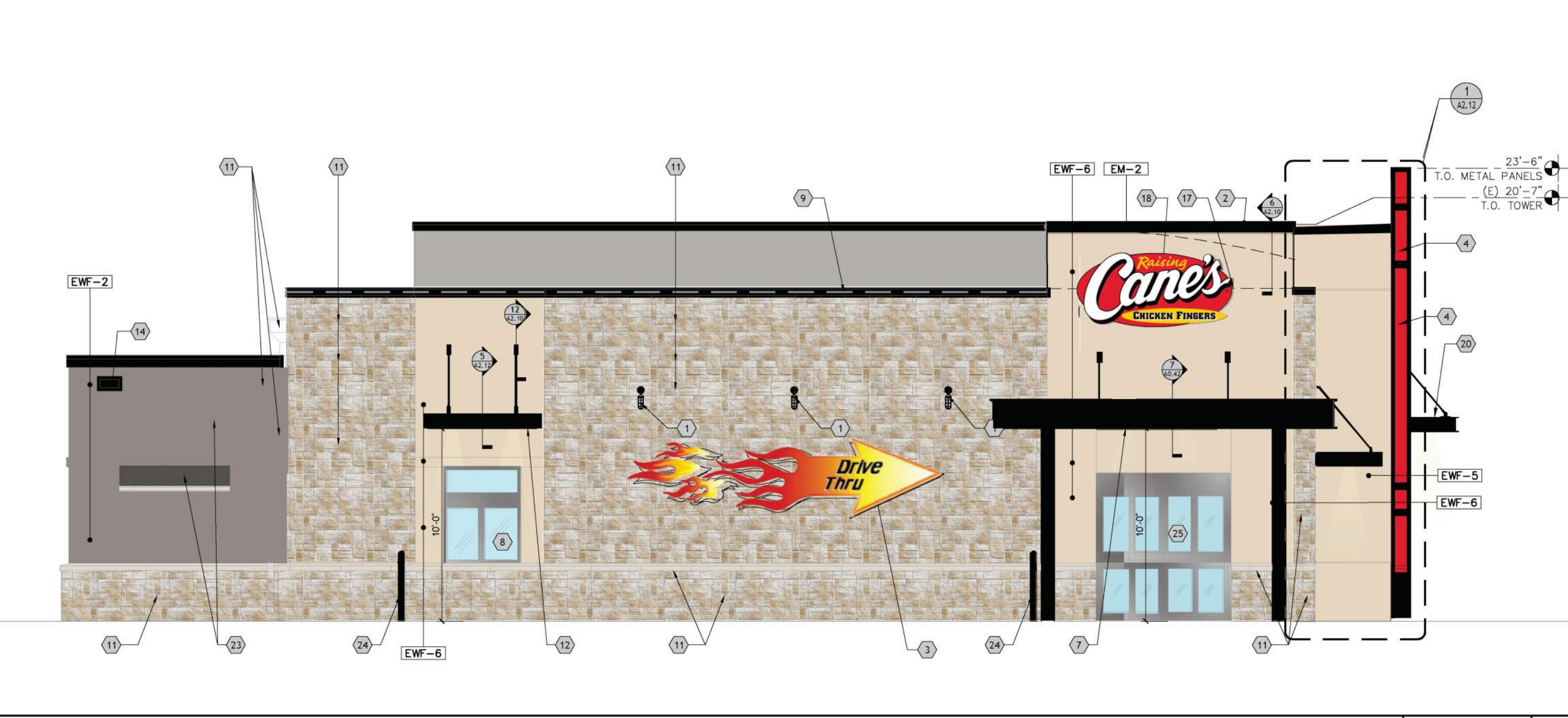
WEST ELEVATION 3/16" = 1'-0" 2



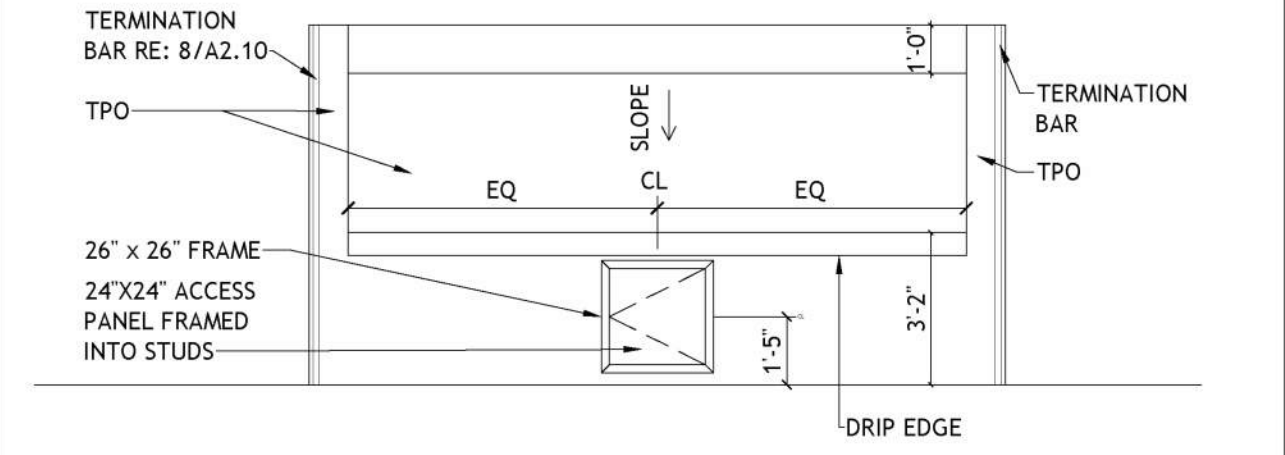
NORTH ELEVATION 3/16" = 1'-0" 1



SOUTH ELEVATION 3/16" = 1'-0" 4



EAST ELEVATION 3/16" = 1'-0" 3



REAR TOWER ELEVATION 1/4" = 1'-0" 7

TAG	DESCRIPTION
EM-2	METAL CAP FLASHING
EM-4	METAL ACCENT PANELS
EFW-2	ELASTOMERIC COATING; COLOR: SUMMIT GRAY
EFW-5	ELASTOMERIC COATING; COLOR: MOUNTAIN FOG
EFW-6	ELASTOMERIC COATING; COLOR: OYSTER SHELL
P-5	EXTERIOR PAINT

*FOR FINISH SCHEDULE RE: A6.30

SEALANT NOTES

- A. PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
- B. MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.

KEYED NOTES

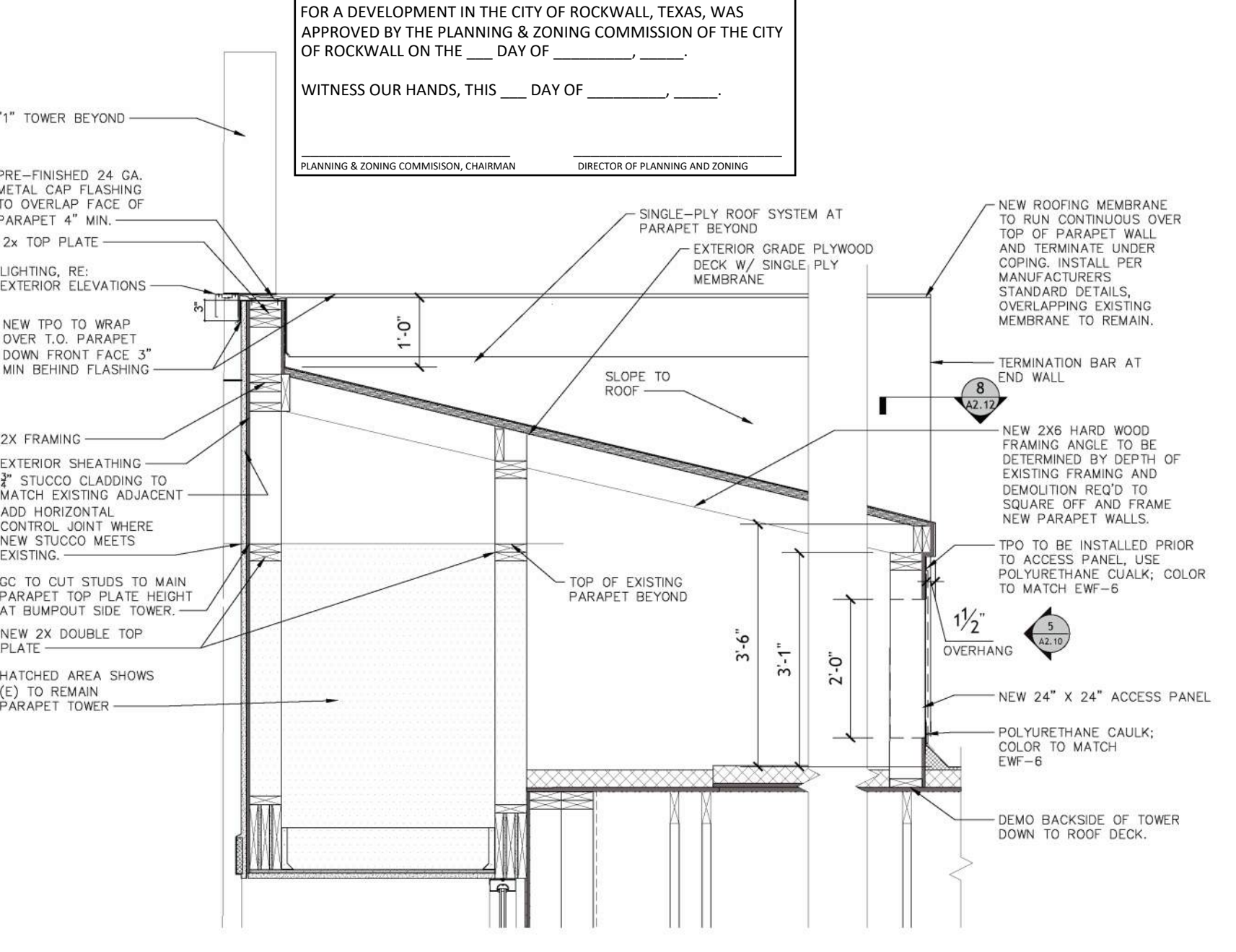
- | | | |
|--|--|---|
| 1. NEW WALL LIGHT IN EXISTING LOCATION, RE: A1.40 | 12. NEW DRIVE THRU CANOPY. | 20. BOTTOM OF NEW AWNING TO ALIGN WITH TOP OF STOREFRONT. |
| 2. LED COVE LIGHTING BY OTHERS. | 13. ADDRESS NUMBERS TO BE FEATURED ON CANOPY. | 21. EXISTING CAMERAS, WAP, SPEAKERS, AND SENSORS TO REMAIN. |
| 3. EXISTING WALL ART TO REMAIN. | 14. EXISTING SCUPPERS AND DOWNSPOUTS PAINT TO MATCH EM-2, TYP. RE: A6.30 | 22. EXISTING LIGHT FIXTURE TO REMAIN. |
| 4. METAL PANELS BY OWNER'S VENDOR. SIGNAGE VENDOR TO TAKE FIELD MEASUREMENTS PRIOR TO FABRICATION. | 15. EXISTING DOOR AND FRAME, PAINT TO MATCH EXISTING COLOR. | 23. EXISTING CORRAL REAR STRUCTURE TO REMAIN, CLEAN AND REMOVE MOLD, DIRT AND DEBRIS, TYP. PAINT TO MATCH EXISTING EWF-2. |
| 5. EXISTING METAL ELEMENT, PAINT TO MATCH EXISTING EFW-2. | 16. DASHED LINE INDICATES DEMOLISHED PORTION OF "1" TOWER. TO ALIGN WITH ADJACENT NEW PARAPET HEIGHT. | 24. EXISTING BOLLARDS TO REMAIN, TYP. HEIGHT. |
| 6. PATCH AND REPAIR STONE TO MATCH EXISTING WHERE CANOPY WAS REMOVED. | 17. PROVIDE HORIZONTAL CONTROL JOINT AT EXISTING TO NEW STUCCO/EIFS, TYP. | 25. NEW DRIVE THRU DOOR. |
| 7. NEW DRIVE THRU CANOPY, RE AD.42 | 18. EXISTING SIGN FACE TO BE REPLACED. SIGN BOX TO REMAIN. GC TO DETERMINE WITH RC CM IF SIGN LOCATION REQUIRES ADJUSTMENT DUE TO NEW TOWER PROFILE. | |
| 8. CONFIRM WITH RC CM IF DOORS AND WINDOWS ARE TO BE REPLACED OR REFINISHED, TYP. | 19. DASHED LINE INDICATES DEMOLISHED | |

SHEET NOTES

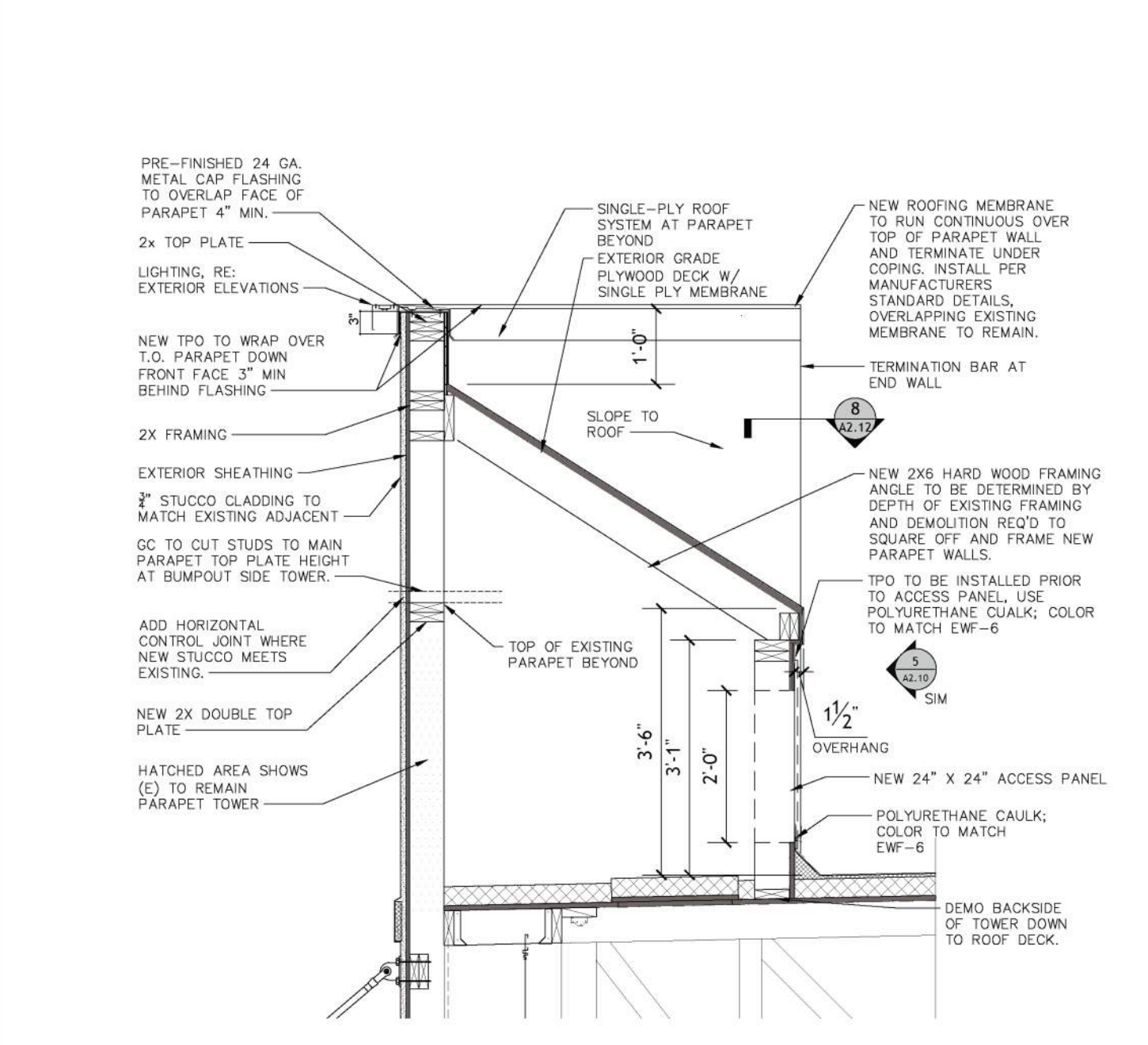
- A. NEW PARAPET 24"X24" ACCESS PANEL SPEC: TOUGH GUY LIGHTWEIGHT INSULATED ALUMINUM ACCESS DOOR, 2VE93. INSTALL AS SHOWN.
- B. REFER SHEET A6.30 FOR FINISH SCHEDULES.
- C. SIGNAGE TO BE APPROVED UNDER SEPARATE PERMIT SUBMITTAL.
- D. GC TO REPAIR OR REPLACE ALL BUILDING CAULKING THAT IS CRACKED OR IN DISREPAIR.
- E. GC TO PATCH OR REPAIR ALL CRACKS IN STUCCO/EIFS BEFORE APPLYING NEW FINISHES.
- F. REPAINT FIRE PANEL TO EXISTING COLORS.

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 PLANNING & ZONING COMMISSION, CHAIRMAN _____ DIRECTOR OF PLANNING AND ZONING _____

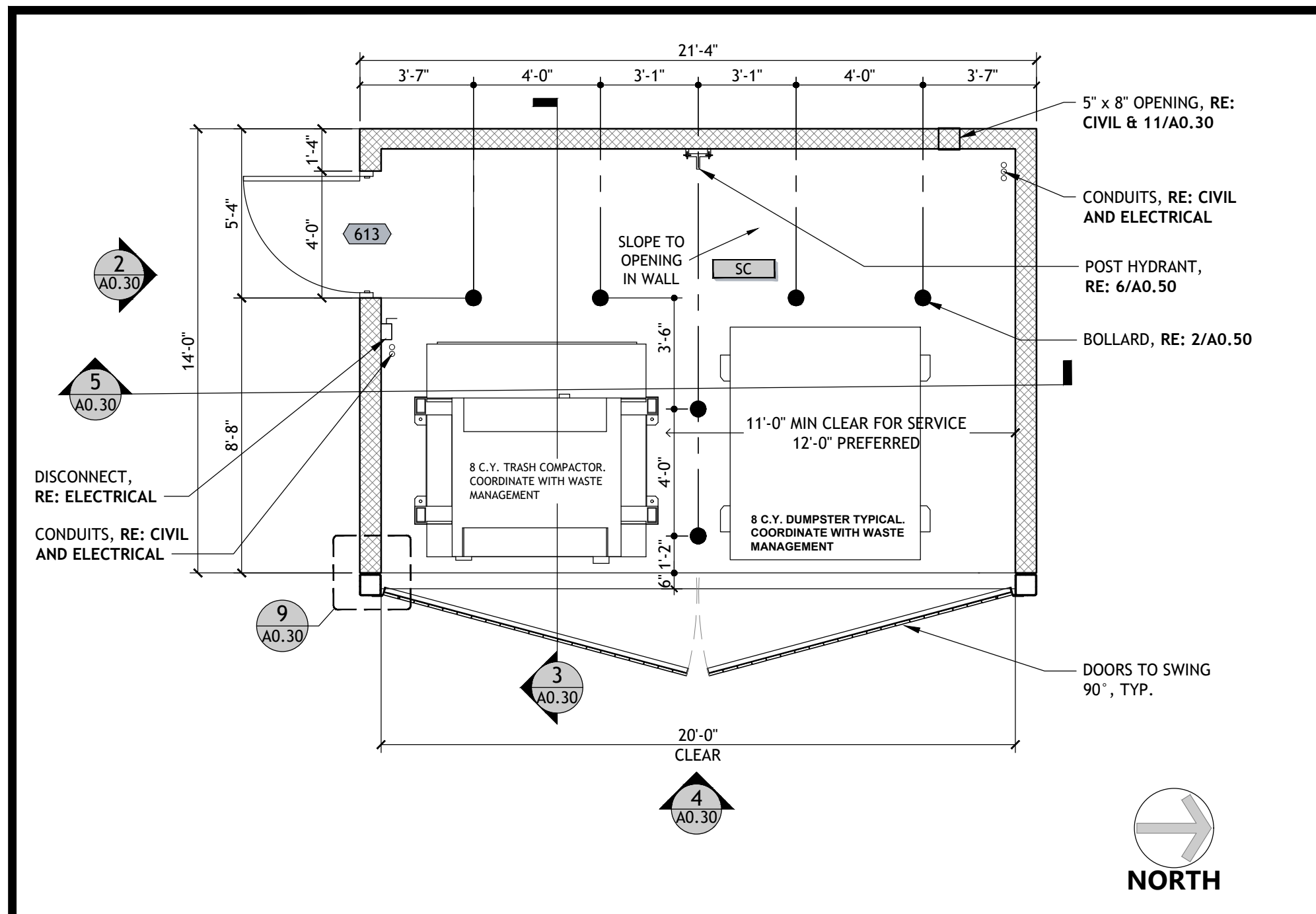
CASE NO. SP2026-009



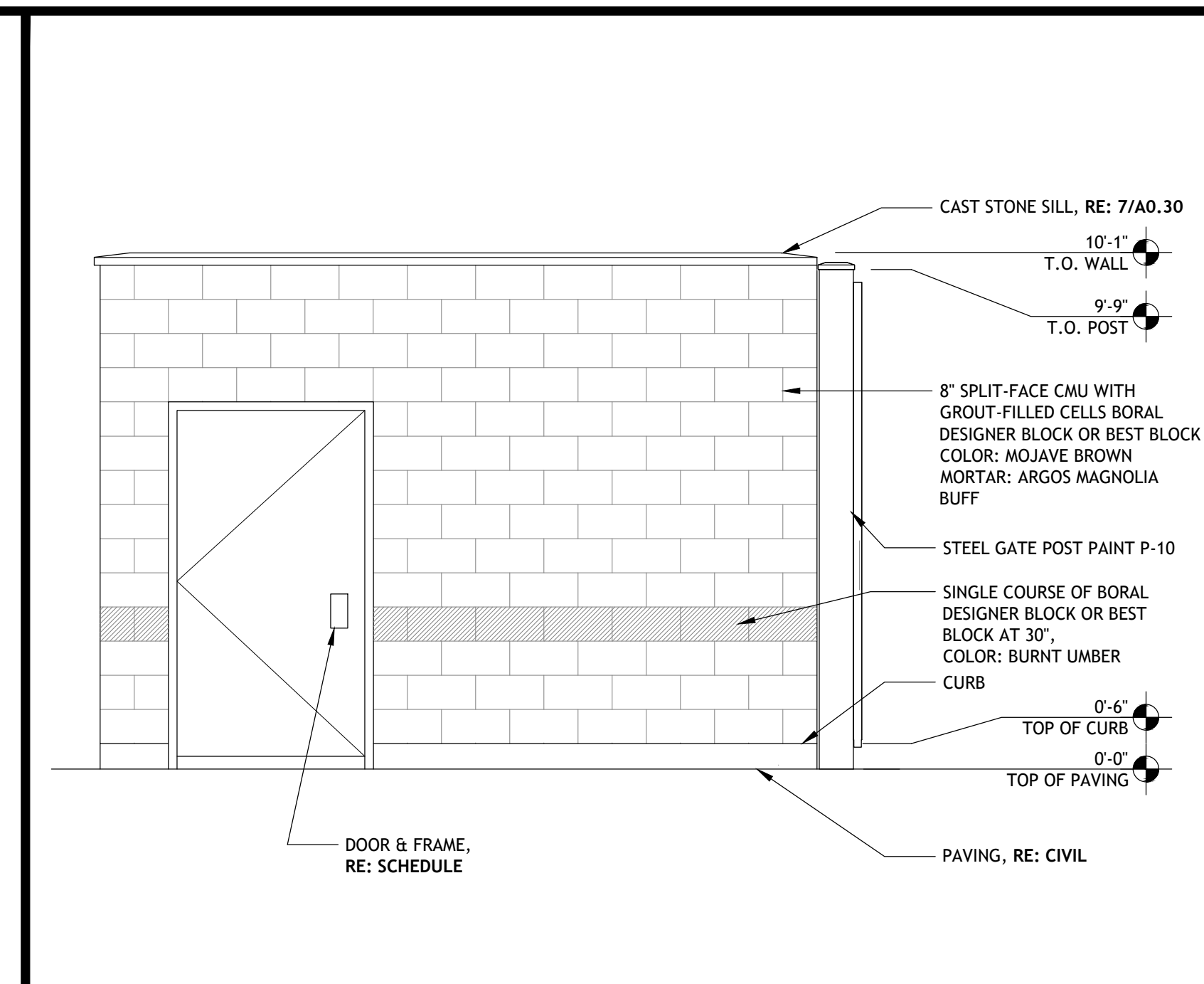
FRONT TOWER 1/2" = 1'-0" 5



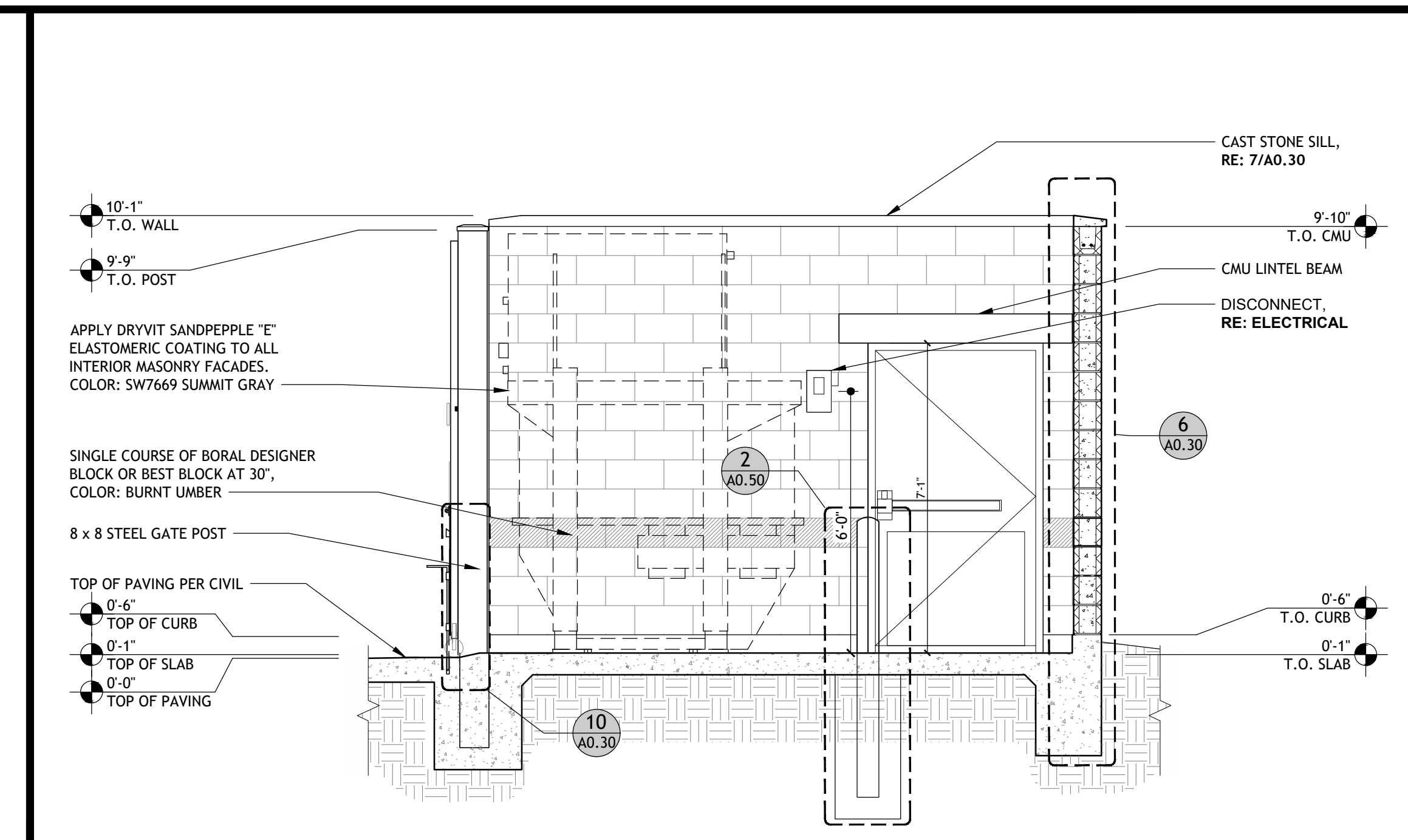
DRIVE-THRU TOWER 1/2" = 1'-0" 6



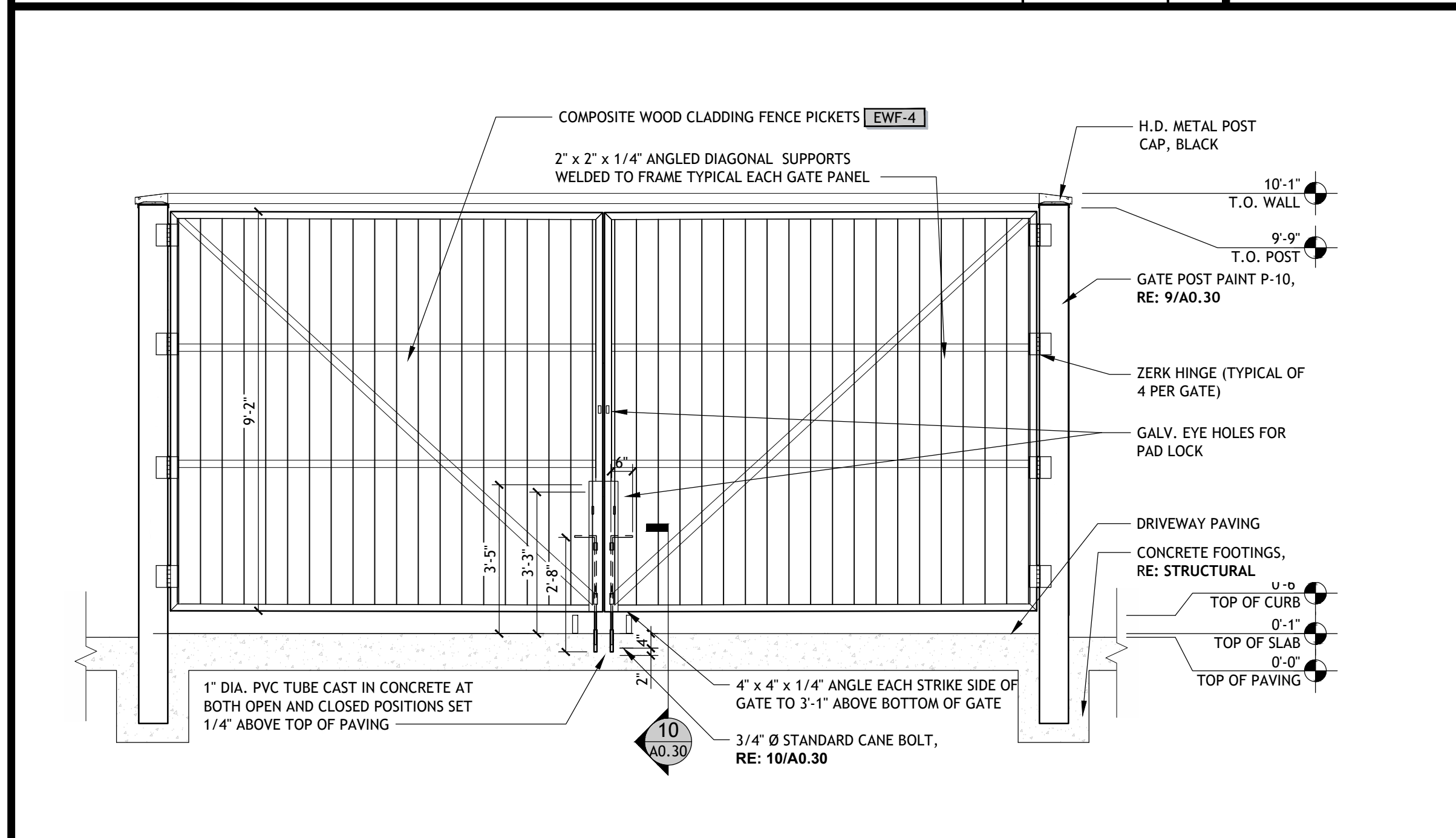
TRASH ENCLOSURE PLAN 1/4" = 1'-0" 1



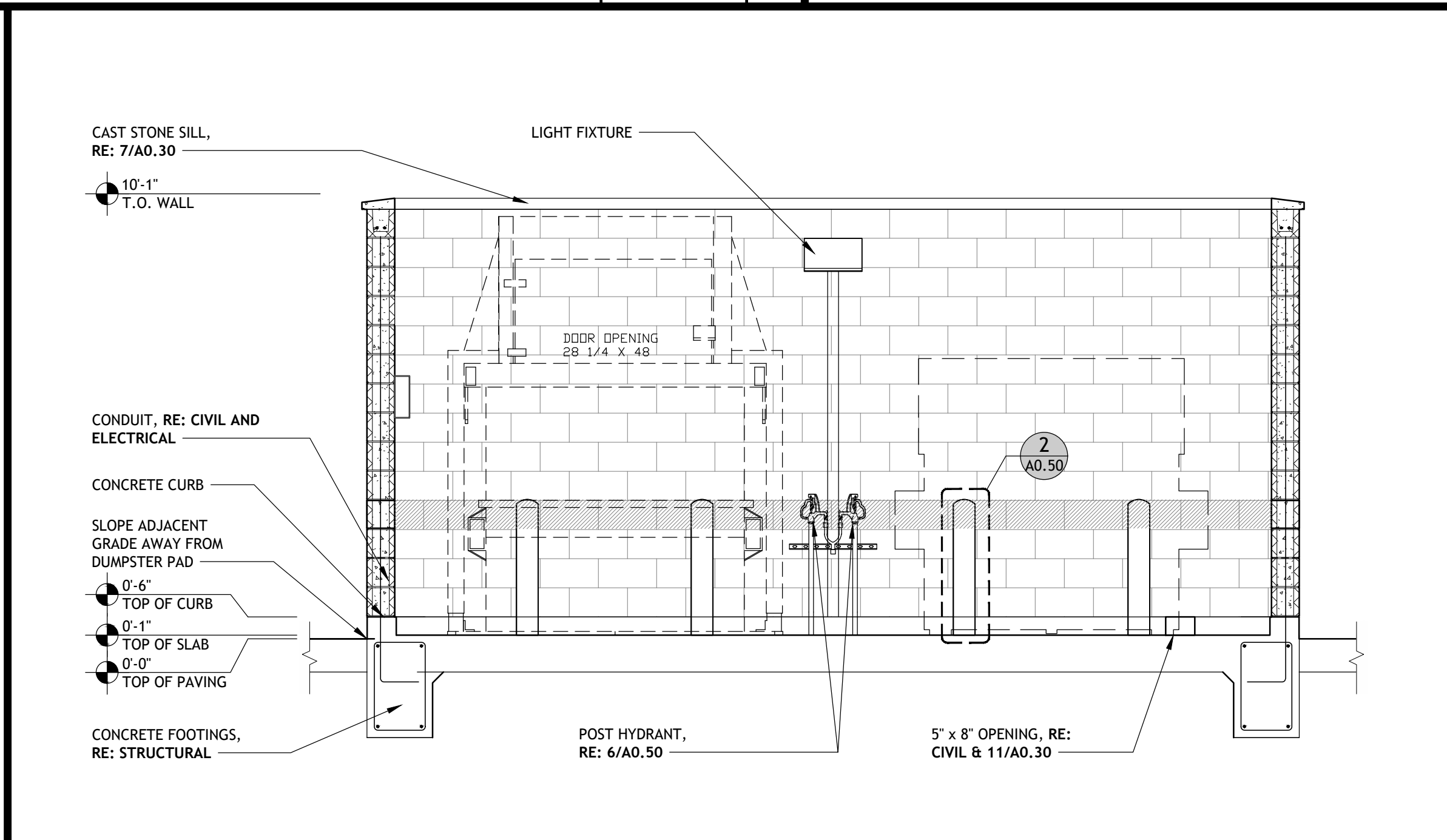
TRASH ENCLOSURE SIDE ELEVATION 3/8" = 1'-0" 2



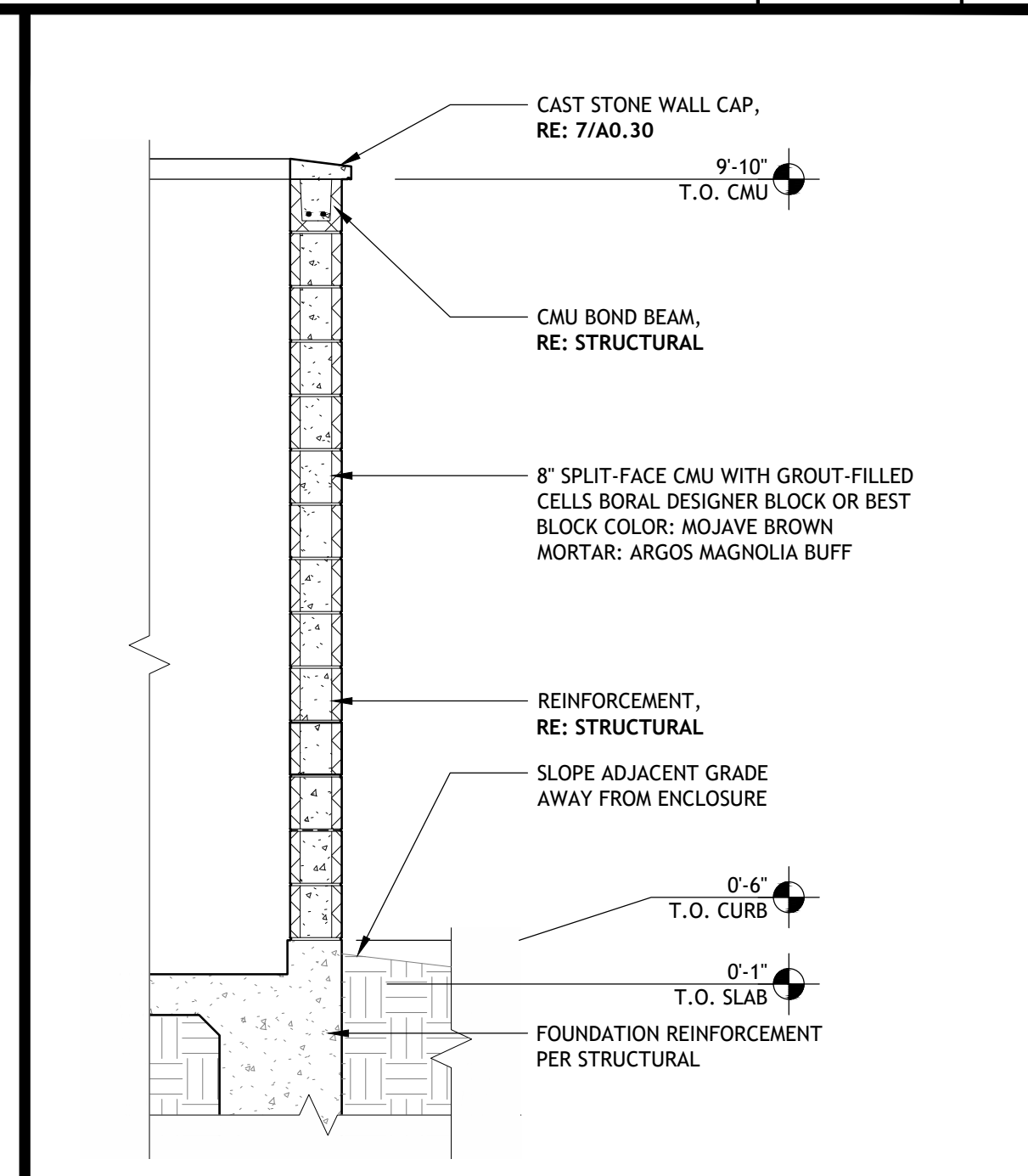
TRASH ENCLOSURE SECTION 3/8" = 1'-0" 3



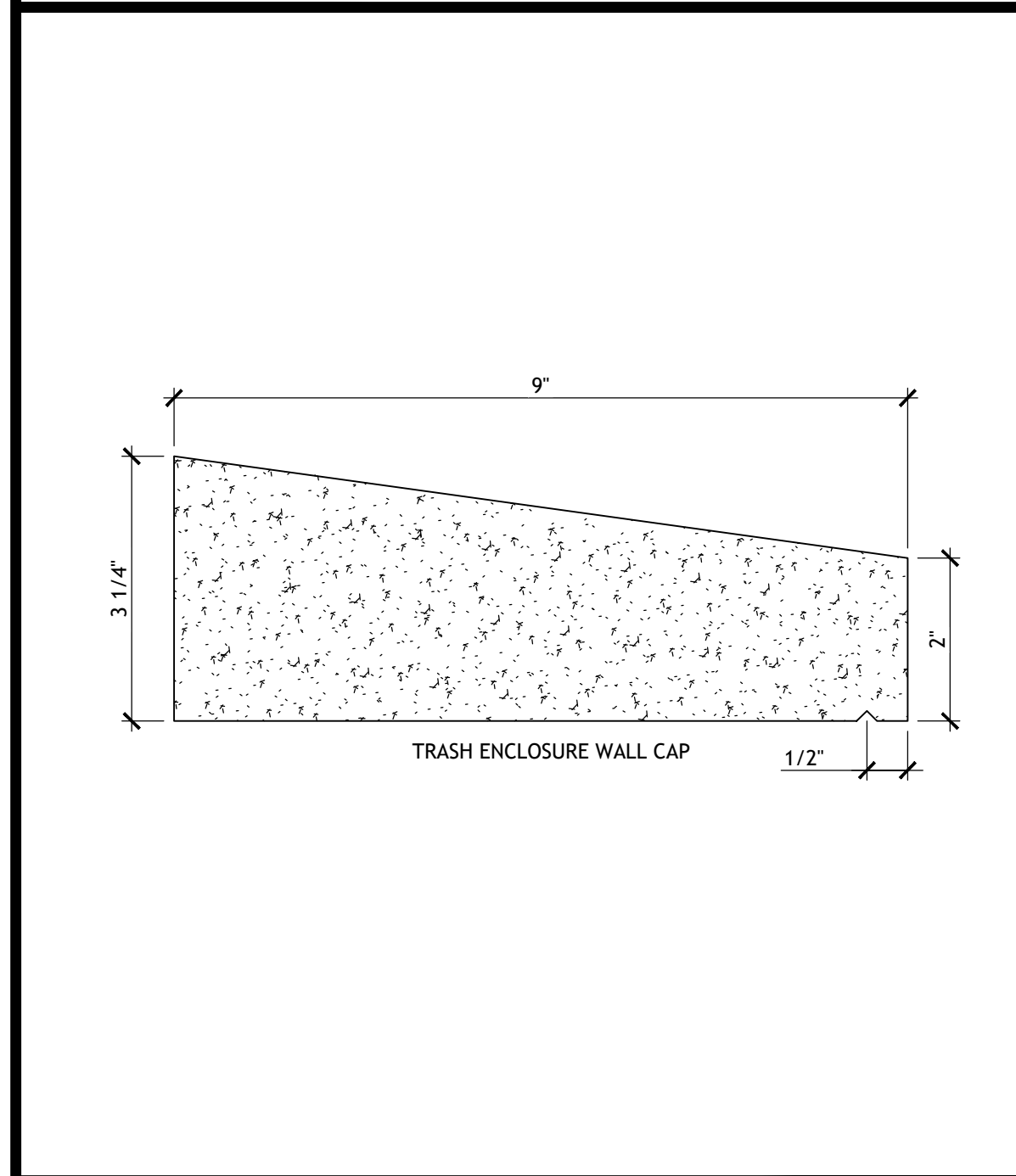
ENCLOSURE GATE ELEVATION 3/8" = 1'-0" 4



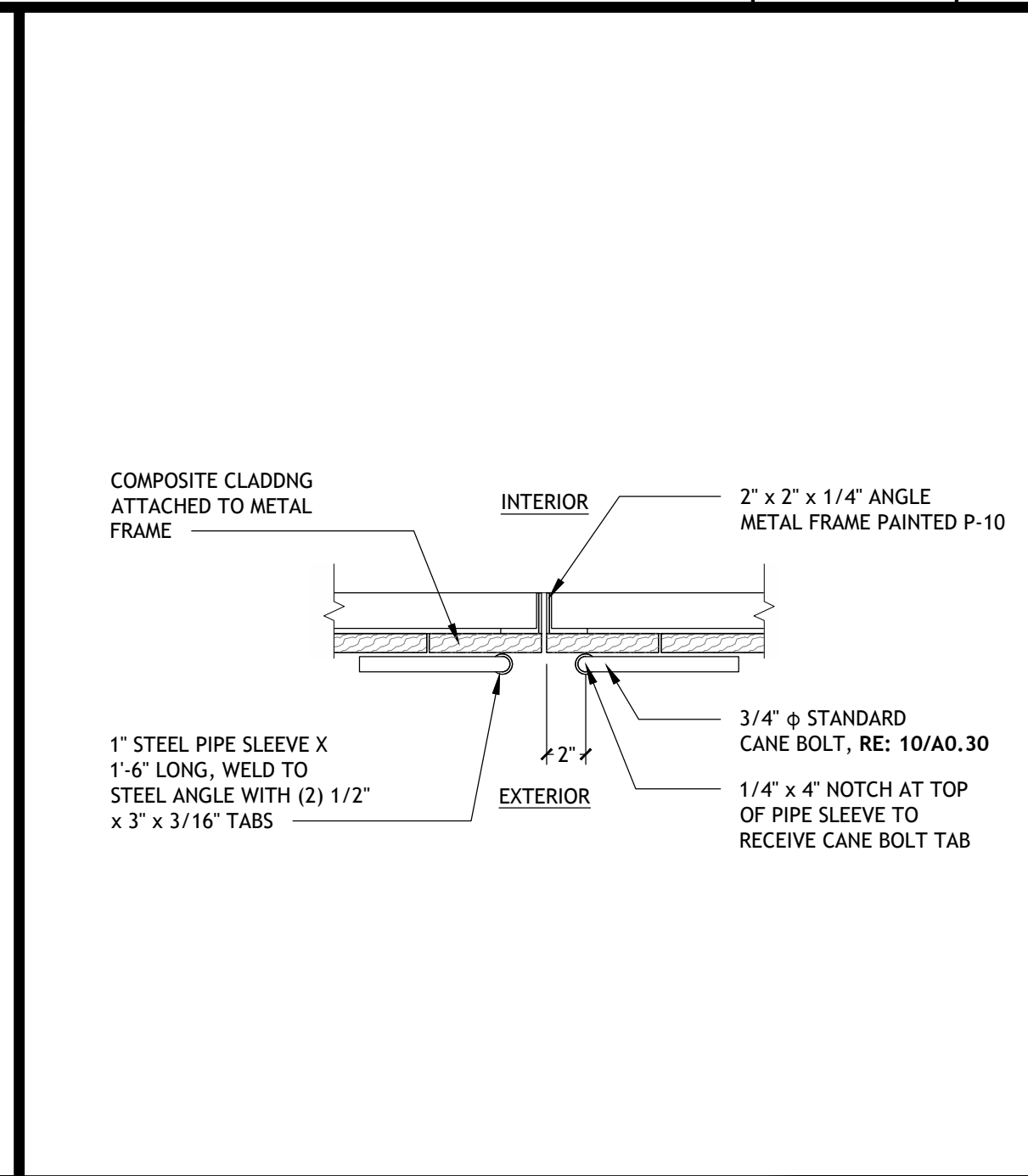
ENCLOSURE SECTION 3/8" = 1'-0" 5



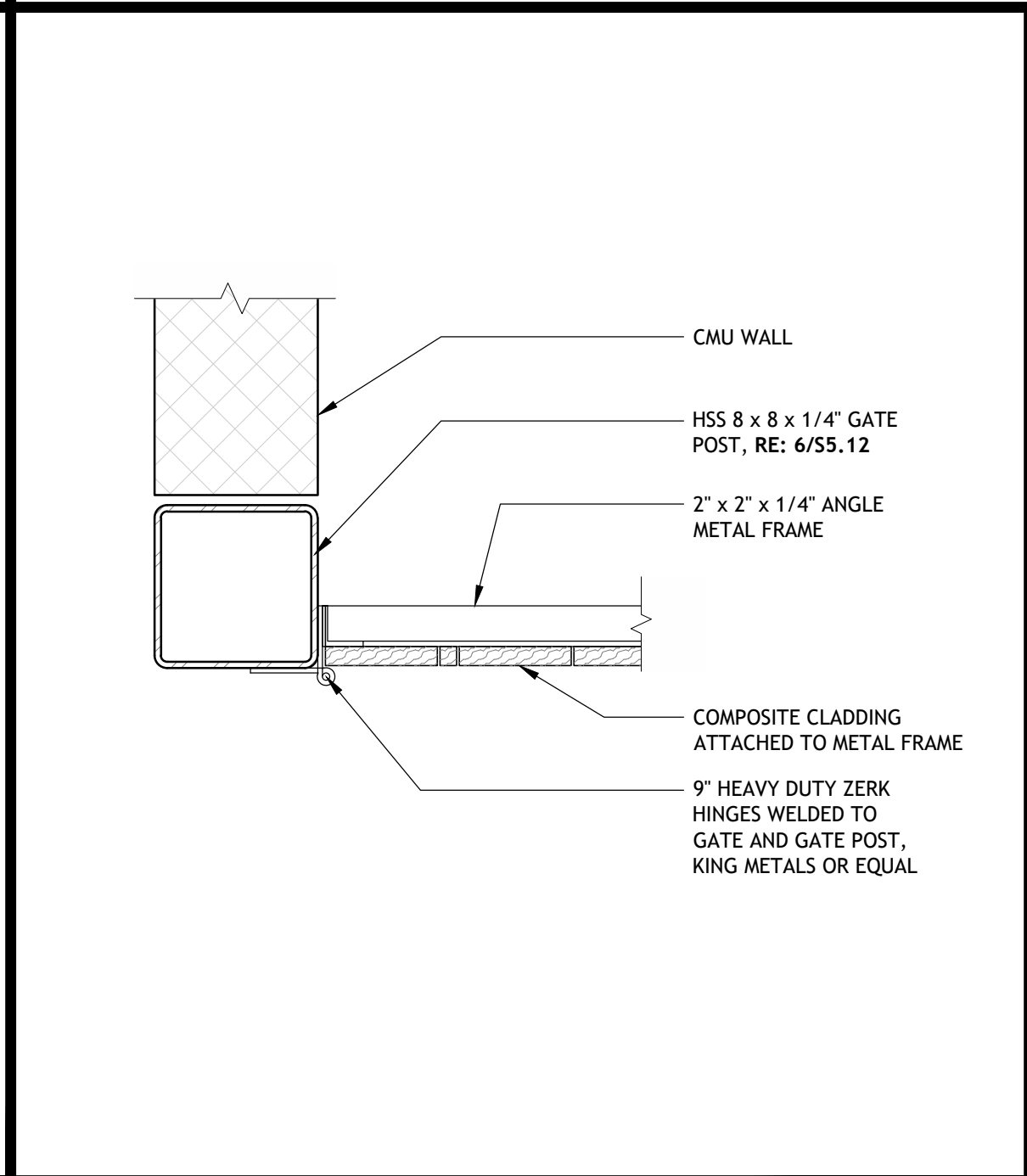
WALL SECTION, TYP. 1/2" = 1'-0" 6



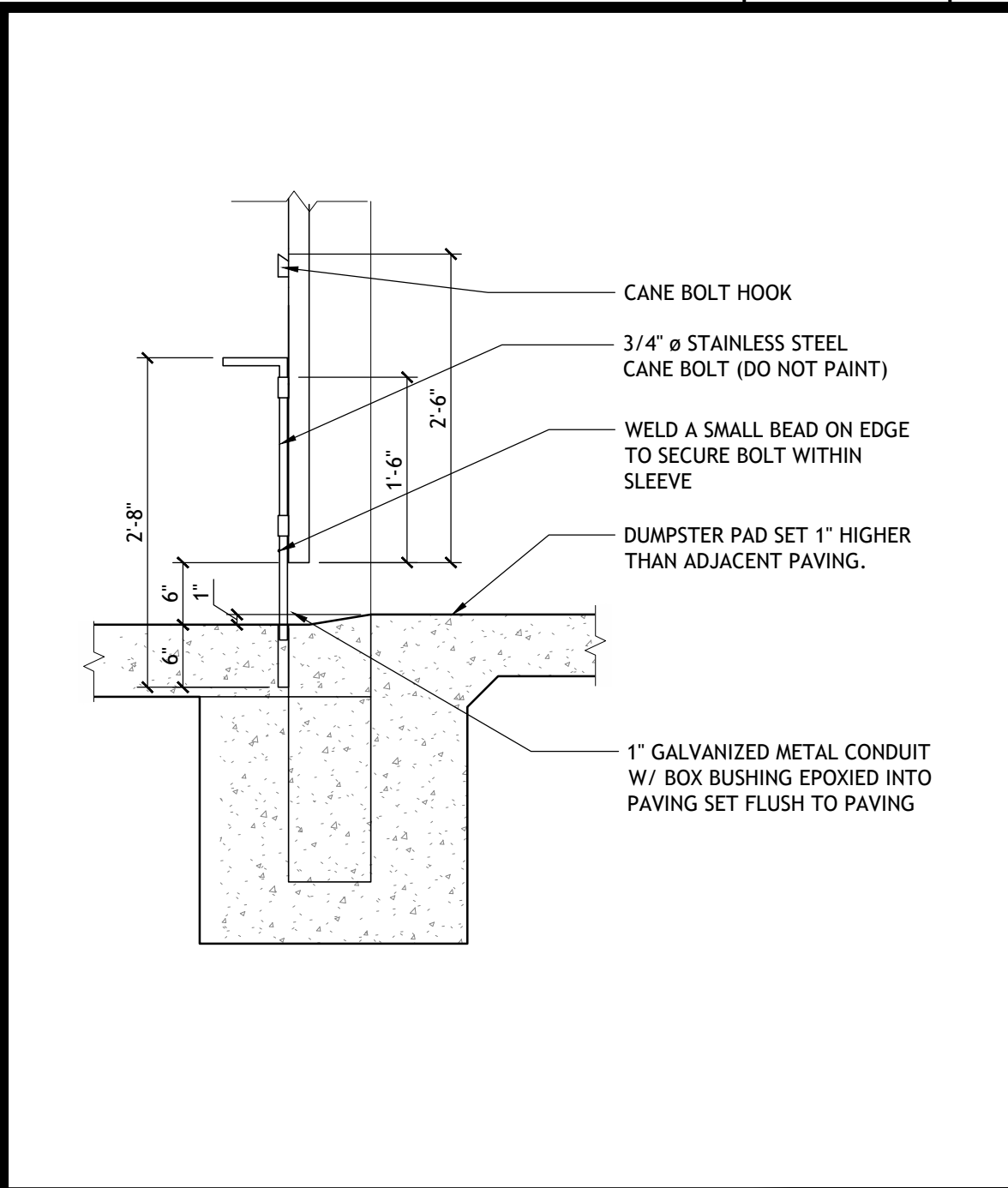
STONE CAP DETAIL 6" = 1'-0" 7



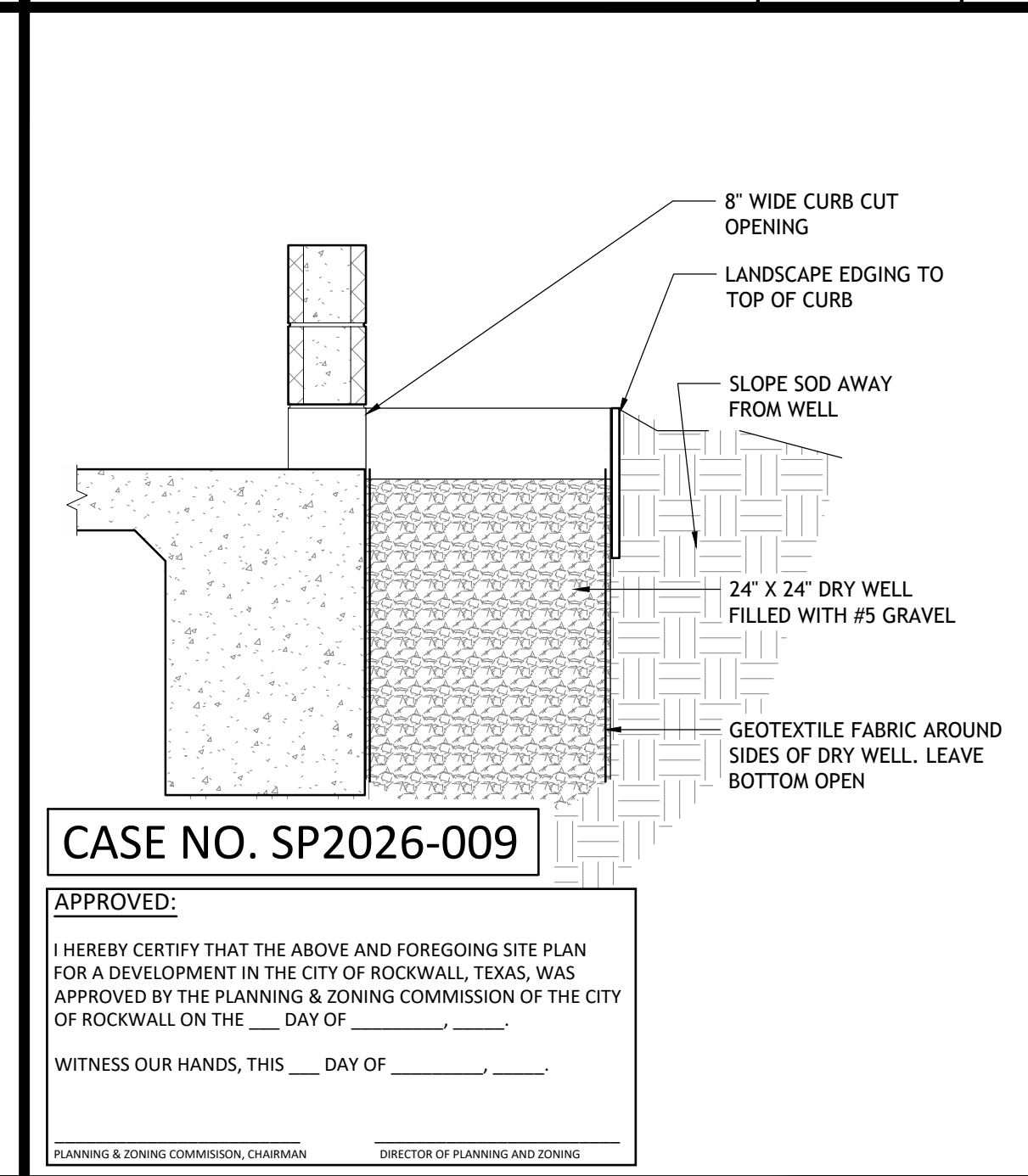
GATE PLAN DETAIL 1 1/2" = 1'-0" 8



GATE HINGE DETAIL 1 1/2" = 1'-0" 9



GATE THRESHOLD DETL. 3/4" = 1'-0" 10

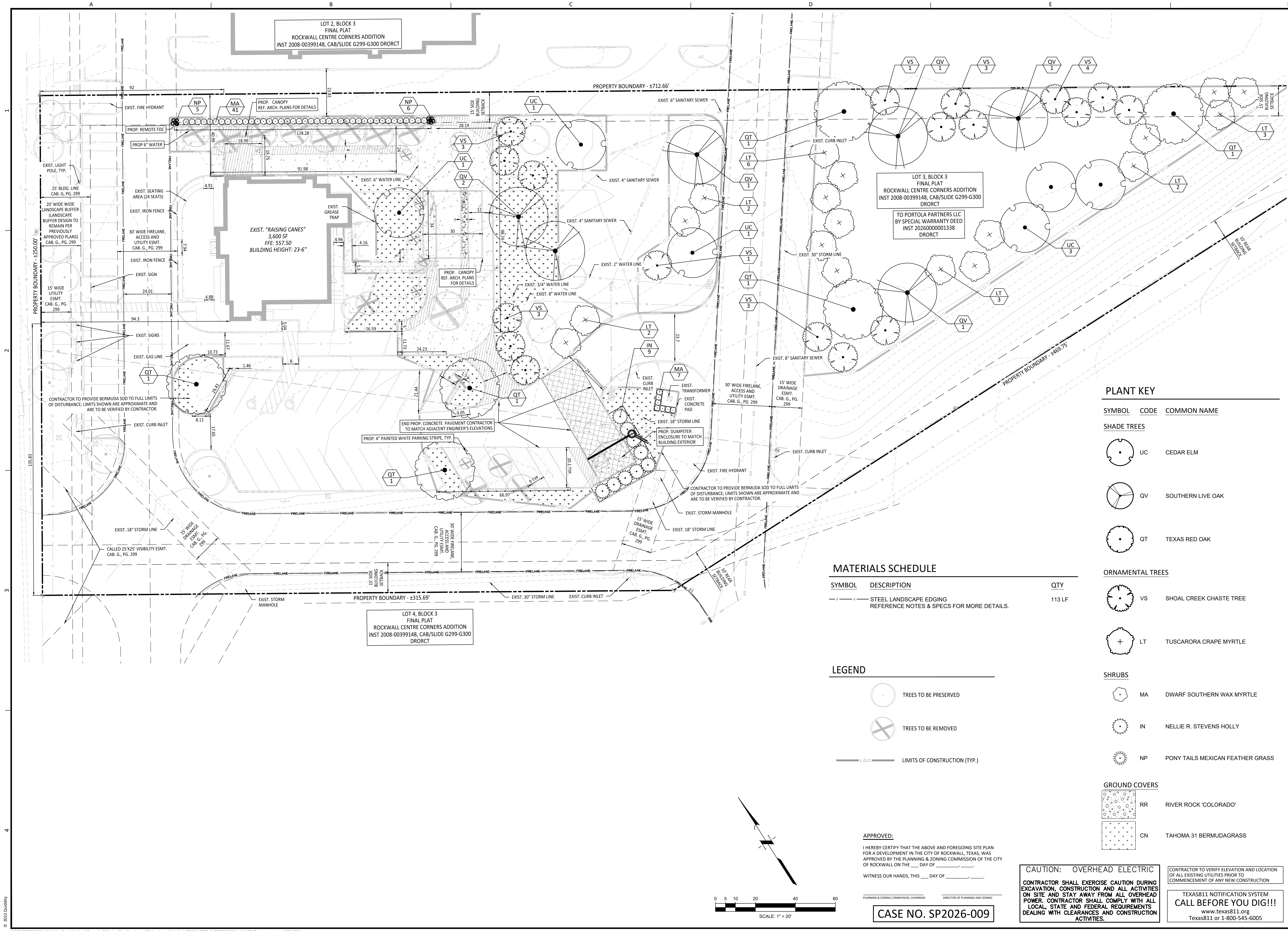


DRY WELL DETAIL 3/4" = 1'-0" 11

THE ferro COLLECTIVE
 SEAL:
 FOR INTERNAL REVIEW ONLY. NOT FOR DISTRIBUTION
 CONSULTANT:

RAISING CANE'S
 RESTAURANT NO.: C0152
 1114 E INTERSTATE 30
 ROCKWALL, TX 75087
 PROTOTYPE P1

CASE NO. SP2026-009
 APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF _____.
 WITNESS OUR HANDS, THIS ___ DAY OF _____.
 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING
 REV DATE DESCRIPTION
 02/12/2026 RB CHECK SET
 DRAWN BY: X
 CHECKED BY: XX
 ARCH. PROJECT NO.:
 SHEET NAME: C0152
 TRASH ENCLOSURE PLAN & DETAILS
 SHEET NUMBER:
A0.30



1
2
3
4

REVISIONS

No.	Date	Description

QUIDDITY
 4000 West Loop South, Suite 1000, Houston, TX 77027
 (281) 416-1000

SCALE: AS SHOWN
 DATE: APRIL 2026
 JOB NO.: 30315-0001-01

DESIGNED BY: CLM
 CHECKED BY: CMK
 DRAWN BY: CLM

INTERIM REVIEW
 THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND ARE NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION. THEY ARE PREPARED BY, OR UNDER THE SUPERVISION OF:

Landscape Architect: CHELSEA M. KLUYKENDALL, PLA # 3619
 Date: April 7, 2026

RAISING CANES - ROCKWALL - I-30 FRONTAGE ROAD
 1114 EAST I-30 FRONTAGE ROAD, ROCKWALL, TEXAS, 75082

LANDSCAPE PLAN
 ROCKWALL CENTRE CORNERS ADDITION
 BLOCK 3, LOT 3, 3.4 ACRES 2.951

SHEET NO. L-4 **L-3**

PLANT KEY

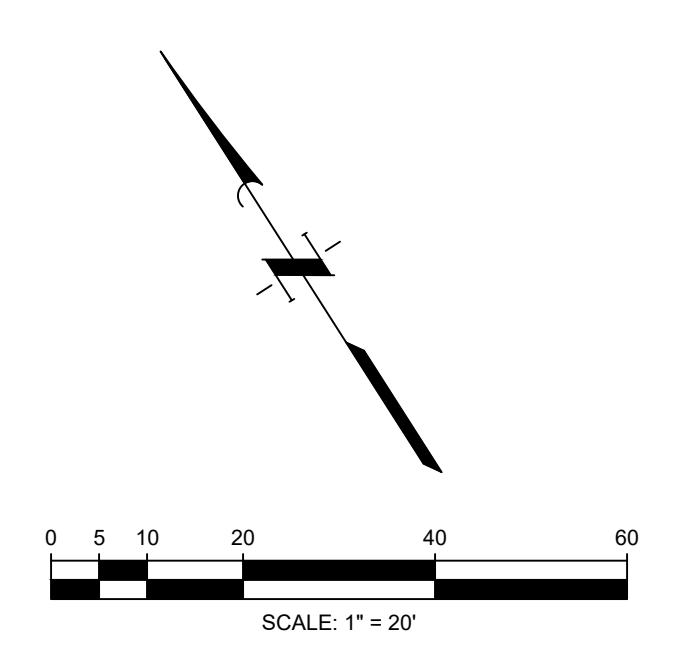
SYMBOL	CODE	COMMON NAME
SHADE TREES		
	UC	CEDAR ELM
	QV	SOUTHERN LIVE OAK
	QT	TEXAS RED OAK
ORNAMENTAL TREES		
	VS	SHOAL CREEK CHASTE TREE
	LT	TUSCARORA CRAPE MYRTLE
SHRUBS		
	MA	DWARF SOUTHERN WAX MYRTLE
	IN	NELLIE R. STEVENS HOLLY
	NP	PONY TAILS MEXICAN FEATHER GRASS
GROUND COVERS		
	RR	RIVER ROCK 'COLORADO'
	CN	TAHOMA 31 BERMUDAGRASS

MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	QTY
	STEEL LANDSCAPE EDGING REFERENCE NOTES & SPECS FOR MORE DETAILS.	113 LF

LEGEND

	TREES TO BE PRESERVED
	TREES TO BE REMOVED
	L.O.C. LIMITS OF CONSTRUCTION (TYP.)



APPROVED:
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 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

CASE NO. SP2026-009

CAUTION: OVERHEAD ELECTRIC
 CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

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 Texas811 or 1-800-545-6005

LANDSCAPE - PLANTING SPECIFICATIONS

PART 1 - GENERAL

- 1.1 LANDSCAPE CONTRACTOR QUALIFICATIONS
 - A. ALL WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY QUALIFIED AND CERTIFIED PROFESSIONALS SPECIALIZING IN THEIR RESPECTIVE FIELD.
 - B. REFER TO THE LANDSCAPE PLAN, SCHEDULE, NOTES, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
 - C. REFER TO THE TREE PRESERVATION PLAN, AS APPLICABLE.
 - D. REFER TO THE IRRIGATION PLAN, AS APPLICABLE.
- 1.2 REFERENCE DOCUMENTS
 - A. REFER TO THE LANDSCAPE PLAN, SCHEDULE, NOTES, AND DETAILS FOR ADDITIONAL REQUIREMENTS.
 - B. REFER TO THE TREE PRESERVATION PLAN, AS APPLICABLE.
 - C. REFER TO THE IRRIGATION PLAN, AS APPLICABLE.
- 1.3 REFERENCE STANDARDS
 - A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, 27 OCTOBER 1986, EDITION, BY AMERICAN NATIONAL STANDARDS INSTITUTE (Z60.1) - PLANT MATERIAL.
 - B. HORTUS THURLO, 1976 - CORNELL UNIVERSITY - PLANT NOMENCLATURE.
 - C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS.
 - D. TEXAS SEED LAW & REGULATION, LATEST EDITION.
- 1.4 SCOPE OF WORK
 - A. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS NECESSARY FOR THE EXCAVATION, INSTALLATION, AND COMPLETION OF ALL WORK, AS SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - B. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR AGREES THAT HE OR SHE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
 - C. BEFORE SUBMITTING A BID, THE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND BE SATISFIED THAT THEY CAN SUPPLY THE LISTED PLANTS IN SIZE, VARIETY, AND QUALITY AS SPECIFIED. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL PLANT AND LANDSCAPE MATERIALS IN STRICT ACCORDANCE WITH THE INSTALLATION DOCUMENTS WITHOUT ADDITIONAL COSTS TO THE OWNER.
 - D. THE LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTIONS OF PLANT MATERIAL, CHANGES IN PLANT MATERIAL SIZE, PRIOR TO THE LANDSCAPE CONTRACTOR SUBMITTING A BID.
 - E. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE, AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION, AND INSTALLATION OF MATERIALS.
 - F. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES PRIOR TO THE START OF ANY WORK. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES. ALL UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION.
 - G. DRAWINGS ARE BASED ON SURVEY DATA AND DESIGN DRAWINGS BY OTHERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL SITE CONDITIONS. PRIOR TO CONSTRUCTION, FAILURE TO MAKE SUCH CONFICTS KNOWN TO THE OWNER'S REPRESENTATIVE WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE MATERIALS AS DIRECTED.
 - H. THE GENERAL CONTRACTOR SHALL ESTABLISH A TOPSOIL MANAGEMENT PLAN/OPERATION THROUGHOUT THE CONSTRUCTION PROCESS. ALL TOPSOIL MAY BECOME STERILE OR NON-FERTILE OVER TIME. THE CONTRACTOR SHALL AMEND AND SUPPLEMENT THE STOCKPILED TOPSOIL AS NECESSARY TO YIELD A FERTILE TOPSOIL. SUPPLY THE CONTRACTOR'S BID SHALL INCLUDE ALL NECESSARY TOPSOIL (IMPORT MAY BE REQUIRED) TO BACKFILL ALL DISTURBED AREAS, THE LACK OF AVAILABLE TOPSOIL ON SITE WILL NOT BE GROUNDS FOR A CHANGE ORDER OR ADDITIONAL PAY.
 - I. LIMITS OF WORK INDICATED ON THE DRAWINGS ARE GENERAL IN NATURE AND ARE INTENDED TO DEFINE THE GENERAL VICINITY IN WHICH THE SCOPE OF WORK EXISTS. ACTUAL LIMITS OF WORK SHALL INCLUDE ALL AREAS NECESSARY TO COMPLETE SCOPE OF DESIGN INTENT AND REESTABLISH ALL DISTURBED AREAS DUE TO CONSTRUCTION, STAGING, OR ANY OTHER ACTIVITY RELATED TO THE OVERALL PROJECT SCOPE OF WORK.
 - J. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL BE PROTECTED. DO NOT PARK, DRIVE, OPERATE MACHINERY OR STORE MATERIALS WITHIN THE SHIRING OF EXISTING TREES. ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING ACCEPTANCE.
 - K. CONTRACTOR SHALL PROVIDE A SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE. CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED, AND EXISTING PLANTS WITHIN OR NEAR THE LIMITS OF CONSTRUCTION, SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK.
 - L. REFERENCES TO "OWNER'S REPRESENTATIVE" ARE MADE IN THESE DOCUMENTS AND REFER TO THE PROJECT OWNER OR DESIGNATED REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE FOR DESIGN CLARIFICATIONS OR ADDITIONAL INFORMATION RELATED TO THE SCOPE OF WORK, AS NEEDED.

PART 2 - MATERIALS

- 2.1 SOIL PREPARATION MATERIALS
 - A. TOPSOIL (SANDY LOAM):
 - i. FRABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLAS GRASS OR NUT GRASS SHALL BE REJECTED.
 - ii. PHYSICAL PROPERTIES SHALL BE AS FOLLOWS:
 1. CLAY - BETWEEN 7-27%
 2. SILT - BETWEEN 15-25%
 3. SAND - LESS THAN 52%
 - iii. ORGANIC MATTER SHALL BE 3-10% OF TOTAL DRY WEIGHT.
 - B. LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS, CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY, VERIFYING THAT SOIL IS A SANDY LOAM MEETING THE ABOVE REQUIREMENTS.
 - C. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETABLE AND 20% ANIMAL WASTE. INGREDIENTS SHOULD BE A MIX OF CORN LEAFS, DISC, BROKEN BRANCHES, DISFIGNMENTS, INSECTS AND INSECT EGGS/LARVAE, AND ARE TO BE OF SPECIFIC QUALITY. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, IN LOCATIONS WITH SIMILAR CLIMATIC CONDITIONS.
 - D. ANY USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
 - E. RESPECTIVE TO PLANTS OF THE SAME SPECIES AND VARIETY, PLANTS ARE TO BE OF UNIFORM SIZE.
 - F. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS, NON-POT-BOUND, FREE FROM ENCRUING AND/OR GIRDLING, AND FREE FROM ANY OTHER ROOT DEFECTS.
 - G. ALL TREES SHALL BE HEALTHY, FULLY BRANCHED, FIBROUS, NON-POT-BOUND, FREE FROM STRONG AND UNDAMAGED CENTRAL LEADERS.
 - H. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, THAT IS NOT ROOT BALL MATERIAL, SHALL BE REJECTED.
 - I. ROOT BALLS ARE TO BE WELL-FORMED, INTACT, AND WITH THE TRUNK FIRMLY ATTACHED. MINIMUM ROOT BALL SIZES FOR CANOPY TREES ARE: 3" CALIPER, 40" DIAMETER FOR 4" CALIPER, 51" DIAMETER FOR 5" CALIPER, AND 60" DIAMETER FOR 6" CALIPER.
 - J. QUANTITIES: QUANTITIES SHOWN ON THE PLAN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE SCHEDULE/LIST, THE QUANTITIES SHOWN ON THE PLAN (INDIVIDUAL SYMBOLS) SHALL TAKE PRECEDENCE. CONTRACTOR TO VERIFY NUMBER OF PLANT SYMBOLS SHOWN AND SMALL MEASURE HATCHED BEDS FOR CHECKING LISTED PLANT QUANTITIES BY ALLYING THE QUANTITIES AT THE GIVEN SPACING.
 - K. SPECIES: SHRUBS, GRASSES, GROUNDCOVERS, ETC., IN ACCORDANCE WITH THE INDICATED DIMENSIONS. ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BEDS WITH INDICATED QUANTITIES OF PLANTS. PLANT SHRUBS TO WITHIN EIGHTEEN (18) INCHES OF TREE TRUNKS.
 - L. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM THE SUPPLIER STATING THE COMPOSITION OF THE SOD. DO NOT STACK FOR MORE THAN FORTY-EIGHT (48) HOURS BETWEEN TIME OF CUTTING AND PLANTING; ANY SOD NOT PLANTED WITHIN TWENTY-FOUR (24) HOURS AFTER RECEIPT ON SITE SHALL BE REMOVED AND NOT PLANTED.
 - M. SEED: EXTRA FINE, HULLED AND TREATED LAWN TYPE SEED WITH PURITY OF 95% OR BETTER AND GERMINATION OF 85% OR BETTER, AND PER REQUIREMENTS OF TEXAS SEED LAW. WEED CONTENT LESS THAN 1.2% WITH NO NOXIOUS WEEDS.
 - N. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE BY THE OWNER'S REPRESENTATIVE, EITHER BEFORE OR AFTER INSTALLATION, SHALL BE REMOVED AND REPLACED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR.
- 2.2 MISCELLANEOUS MATERIALS
 - A. STEEL EDGING: SHALL BE 3/16" x 4" x 16" DARK GREEN LANDSCAPE EDGING, DURABEGG STEEL OR APPROVED EQUAL.
 - B. TREE STAKING: REFER TO DETAILS.
 - C. FILTER FABRIC: MIRAFI 1405 BY MIRAFI INC. OR APPROVED SUBSTITUTION.
 - D. SAND: UNIFORMLY GRADED, WASHED, CLEAN, BARK RUN SAND.
 - E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1.5", REFER TO DETAILS.
 - F. DECOMPOSED GRANITE: BASE MATERIAL OF NATURAL, MATERIAL MIX OF GRANITE AGGREGATE, NOT TO EXCEED 1/8" IN DIAMETER, COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BAKE; REFER TO DETAILS AND SCHEDULE.
 - G. RIVER ROCK: LOCALLY AVAILABLE NATURAL RIVER ROCK. REFER TO DETAILS AND SCHEDULE.
 - H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING, PRE-EMERGENT HERBICIDE THAT IS LABELED FOR SPECIFIC ORNAMENTALS OR TURF OR WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
 - I. ROOT BARRIER: CENTURY ROOT BARRIER PANEL, OR APPROVED EQUAL, FORTY-EIGHT (48) INCHES IN DEPTH.

PART 3 - EXECUTION

3.1 PREPARATION

- A. NOTIFY THE OWNER'S REPRESENTATIVE A MINIMUM OF FORTY-EIGHT (48) HOURS IN ADVANCE OF COMMENCING WORK TO COORDINATE PROJECT INSPECTION SCHEDULE.
- B. CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
- C. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS, AND CHEMICALLY TREAT FOR MINIMIZING TURF REGROWTH IN THE FUTURE.
- D. GENERAL CONTRACTOR TO HAVE LEFT SOIL IN FUTURE PLANTING BED AREAS NINE (9) INCHES BELOW FINAL GRADE. TILL EXISTING SOIL TO AN ADDITIONAL DEPTH OF SIX (6) INCHES (FIFTEEN (15) INCHES TOTAL DEPTH BELOW FINAL GRADE) PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER PER THE SOIL TEST RESULTS AND PER MANUFACTURER RECOMMENDATIONS. ADD SIX (6) INCHES OF COMPOST and TILL INTO A DEPTH OF TWELVE (12) INCHES (SETTLED TOPSOIL), BRINGING THE TOP OF BED TO THREE (3) INCHES BELOW FINAL GRADE.
- E. THE FINAL THREE (3) INCHES ARE TO BE WEED BARRIER AND MULCH AS SPECIFIED ABOVE AND AS SHOWN IN THE CONSTRUCTION DETAILS.
- F. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING QUALITY TOPSOIL ON SITE (USE IMPROVED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALICHE, SUBSOILS, ETC. PLACED IN NINE (9) INCH LAYERS AND WATERED IN THOROUGHLY.
- G. ALL SOD TURF PLANTS SHALL BE CONDITIONED AS FOLLOWS:
 1. PREPARE SOIL BY SCRAPING AWAY EXISTING GRASS AND WEEDS, AND CHEMICALLY TREAT FOR MINIMIZING TURF REGROWTH IN THE FUTURE. GENERAL CONTRACTOR TO HAVE LEFT ALL TURF GRASS AREAS SIX (6) INCHES BELOW FINAL GRADE. NEARBY THE TRUNKS OF THE SOIL AND LIFT FIVE (5) INCHES OF QUALITY TOPSOIL TO BRING ALL DISTURBED, FUTURE SOD TURF GRASS AREAS TO ONE (1) INCH BELOW FINAL GRADE. ALL TOPSOIL SHALL BE FERTILE (BASED ON THE RESULTS OF A SOIL TEST PROVIDED TO THE LANDSCAPE ARCHITECT) AND MUST NOT CONTAIN ROCKS LARGER THAN 1/4", TRASH, DEBRIS, ROOTS, OR OTHER DELETERIOUS MATTER.
 2. FINAL TERRAIN TO BE A SMOOTH AND EVEN SURFACE.
 3. ALL SEEDS/MULCH/TURF GRASS AREAS SHALL BE CONDITIONED AS FOLLOWS:
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NOTES

SCOPE OF WORK NOTES

- 1. CONTRACTOR SHALL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO COMPLETE SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
2. CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS, APPROVALS, AND INSPECTIONS RELATED TO SCOPE OF WORK.
3. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, AND SHALL COMPLY WITH PREVAILING ACCESSIBILITY REQUIREMENTS.
4. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTS AND ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION. DO NOT PROCEED WITH ANY PORTION OF WORK AS INDICATED IN DOCUMENTS IF OBSTRUCTIONS, DISCREPANCIES, OR UNKNOWN CONDITIONS ARE ENCOUNTERED.
5. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING, DIGGING, OR CONSTRUCTION.
6. LIMITS OF WORK INDICATED ON THE DRAWINGS ARE GENERAL IN NATURE AND ARE INTENDED TO DEFINE THE GENERAL VICINITY IN WHICH THE SCOPE OF WORK EXISTS. ACTUAL LIMITS OF WORK SHALL INCLUDE ALL AREAS NECESSARY TO COMPLETE SCOPE OF DESIGN INTENT AND REESTABLISH ALL DISTURBED AREAS.
7. UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL BE PROTECTED.

SOIL PREPARATION AND TOPSOIL NOTES

- 1. GENERAL CONTRACTOR TO PERFORM A SOIL TEST PRIOR TO LANDSCAPE WORK COMMENCING AND SHALL PROVIDE THE PROJECT LANDSCAPE ARCHITECT WITH THE RESULTS. REFERENCE THE SPECIFICATIONS FOR DETAILED REQUIREMENTS.
2. GENERAL CONTRACTOR SHALL ESTABLISH A TOPSOIL MANAGEMENT PLAN/OPERATION THROUGHOUT THE CONSTRUCTION PROCESS. ON-SITE EXCESS EXCAVATIONS AND UTILITY SPOILS THAT ARE FREE OF ROCKS LARGER THAN 3/4", TRASH, DEBRIS, ROOTS, OR OTHER DELETERIOUS MATTER MAY BE USED AS GENERAL EARTH FILL BUT SHALL NOT BE USED AS TOPSOIL.
3. GENERAL CONTRACTOR TO BRING ALL FUTURE PLANTING BED AREAS TO NINE (9) INCHES BELOW FINAL GRADE. ALL AREAS TO RECEIVE TURF GRASS SHALL BE BROUGHT TO SIX (6) INCHES BELOW FINAL GRADE. GENERAL CONTRACTOR TO INSTALL AND/OR COORDINATE THE INSTALLATION OF REQUIRED FERTILE TOPSOIL PER THE TOPSOIL MANAGEMENT PLAN, SOIL TEST RESULTS, AND THESE SPECIFICATIONS AND DETAILS, AND COORDINATE THE TIMING OF ROUGH GRADING, FINE GRADING, AND THE INSTALLATION OF IRRIGATION AND LANDSCAPE IMPROVEMENTS.
4. THE CONTRACTOR'S BID SHALL INCLUDE ALL NECESSARY TOPSOIL (IMPORT MAY BE REQUIRED) TO BACKFILL ALL DISTURBED AREAS.
5. AFTER SCARIFICATION OF THE SOIL, FIVE (5) INCHES OF FERTILE TOPSOIL SHALL BE USED TO BRING DISTURBED, FUTURE SOD TURF AREAS TO ONE (1) INCH BELOW FINAL GRADE.
6. FOR FUTURE PLANTING BED PREPARATION, TILL SOIL AN ADDITIONAL SIX (6) INCHES (FIFTEEN (15) INCHES TOTAL DEPTH BELOW FINAL GRADE), APPLY FERTILIZER PER SOIL TEST RESULTS AND MANUFACTURER'S RECOMMENDATIONS, THEN ADD SIX (6) INCHES OF COMPOST AND TILL INTO A DEPTH OF TWELVE (12) INCHES (SETTLED THICKNESS), BRINGING THE TOP OF BED TO THREE (3) INCHES BELOW FINAL GRADE.
7. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. PROVIDE UNIFORM ROUNDING AT THE TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE.

JOB CONDITION NOTES

- 1. GENERAL CONTRACTOR TO COMPLETE WORK PRIOR TO LANDSCAPE CONTRACTOR COMMENCING WORK.
2. ALL REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED WITH A PERMANENT BELOW-GROUND, AUTOMATIC IRRIGATION SYSTEM THAT IS DESIGNED BY A LICENSED IRRIGATOR.
a. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED WITH RAIN AND FROST SENSORS AND SHALL MEET ALL APPLICABLE STATE AND LOCAL REGULATIONS.
b. ALL AREAS OTHER THAN TURF SHALL BE IRRIGATED USING NETAFIM™ OR APPROVED EQUAL SUBTERRANEAN DRIP. DRIP IRRIGATION IS REQUIRED FOR ALL TURF AREAS NARROWER THAN 48" IN WIDTH.
c. ANY EXISTING IRRIGATION SYSTEMS UTILIZED FOR THE WATERING OF NEWLY INSTALLED LANDSCAPING ARE TO BE INSPECTED FOR FUNCTIONALITY AND REPAIRED AS NECESSARY. CONTRACTOR TO ENSURE THAT THE EXISTING SYSTEM HAS ADEQUATE CAPACITY.
d. IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO PLANTING INSTALLATION. LOCATE, PROTECT, AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS.

SUBMITTALS AND QUALITY ASSURANCE NOTES

- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. REFERENCE THE SPECIFICATIONS FOR DETAILED REQUIREMENTS.
2. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
3. OWNER'S REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL PRIOR TO INSTALLATION.
4. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED TO THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
5. CONTRACTOR TO PROVIDE A MINIMUM OF TWO (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK.
6. PROVIDE MINIMUM 5% SLOPES AWAY FROM ALL STRUCTURES AND ENSURE POSITIVE DRAINAGE IS ACHIEVED THROUGHOUT.

GENERAL LANDSCAPE NOTES

- 1. ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN, INC., SHALL BE OF SPECIMEN QUALITY, AND SHALL MEET THE MINIMUM REQUIREMENTS AS STATED IN THE PLANT SCHEDULE AND SPECIFICATIONS.
2. QUANTITIES ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. QUANTITIES SHOWN ON THE PLAN (INDIVIDUAL SYMBOLS) SHALL TAKE PRECEDENCE OVER LISTED QUANTITIES.
3. THE GENERAL CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN IN THE DRAWINGS.
4. TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING AND IN PROPER CARE ONCE DELIVERED TO THE PROJECT SITE.
5. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR.
6. SPACE PLANTINGS IN ACCORDANCE WITH THE INDICATED DIMENSIONS. MINIMALLY ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BEDS WITH INDICATED QUANTITY OF PLANTS. PLANT SHRUBS TO WITHIN EIGHTEEN (18) INCHES OF TREE TRUNKS, AS SHOWN AND/OR AS NECESSARY.
8. ALL NON-DIMENSIONED PLANT SYMBOLS, EDGING, AND BED LINES SHALL BE SCALED FROM DRAWINGS. CURVILINEAR BED LINES ARE TO BE SMOOTH AND CONTINUOUS PER PLAN, WITHOUT ABRUPT CHANGES IN DIRECTION.
9. PAINT OR STRING ALL EDGING AND BED LINE LOCATIONS ON FINAL GRADE AND STAKE THE LOCATION OF ALL PROPOSED TREES FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF PLANTING.
10. PLACE PLANTINGS UPRIGHT AND PLUMB IN THE CENTER OF HOLES AND ORIENT FOR BEST APPEARANCE. PLANTS TO BE PERFECTLY UPRIGHT, REGARDLESS OF SURROUNDING GRADE; SEE DETAILS FOR PLANTING ON SLOPES.

- 11. STAKE TREES AND LARGE SHRUBS AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS AND GRADE CHANGE (TWO STAKES UPWIND/UPHILL).
12. NO TREES OR SHRUBS SHALL BE PLANTED BEFORE ACCEPTANCE OF FINE GRADING. TREE SHALL BEAR SAME RELATIONSHIP TO FINAL GRADE AS THEY BORE TO PREVIOUS GRADE.
13. SEE SPECIFICATIONS AND DETAILS FOR PLANTING BED PREPARATION AND MULCHING REQUIREMENTS.
14. SEE SPECIFICATIONS AND DETAILS FOR TREE PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
15. ALL PLANT VARIETIES MUST COME FROM A SINGLE SOURCE FOR MAINTAINING A CONSISTENT APPEARANCE.
16. ALL NEW PLANTS SHALL BE CONTAINER-GROWN, UNLESS OTHERWISE NOTED IN THE PLANT SCHEDULE. MATERIAL MUST HAVE A WELL-ESTABLISHED ROOT SYSTEM THAT REACHES THE SIDES OF THE CONTAINER. THE ROOT SYSTEM MUST MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCIRCLING THE INSIDE OF THE CONTAINER.
17. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINAL GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
18. ALL SHRUB PLANTING BEDS AND LAWN AREAS ARE TO BE SEPARATED BY STEEL EDGING UNLESS OTHERWISE NOTED. NO STEEL EDGING IS TO BE INSTALLED ADJACENT TO SIDEWALKS, CURBS, FENCES, OR OTHER HARDSCAPE ELEMENTS, UNLESS SPECIFIED OTHERWISE IN THE PLANS, SPECIFICATIONS OR DETAILS.
19. ROOT BARRIER TO BE INSTALLED ADJACENT TO ALL CURBS, PAVING, UTILITIES, AND STRUCTURES WHEN PROPOSED TREES ARE WITHIN 20 FEET OF THESE ELEMENTS; SEE DETAIL. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO ANY UTILITY LINE. PLACE PANELS ADJACENT APPLICABLE HARDSCAPE AND UTILITIES AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS; SEE PLAN FOR EXTENTS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIER THAT COMPLETELY ENCIRCLES THE ROOT BALL.

SOLID SOD TURF NOTES

- 1. DO NOT PLACE SOD UNTIL FINE GRADING IS APPROVED.
2. DO NOT INSTALL SOD ON FROZEN GROUND OR IF FORECAST CALLS FOR FREEZING CONDITIONS.
3. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE THAT EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
4. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
5. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
6. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS ARE TO BE OVER-SEEDED WITH WINTER RYE GRASS.
7. SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS AND NOXIOUS PESTS AND INSECTS.

MAINTENANCE AND GUARANTEE NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL NINETY (90) DAYS AFTER FINAL ACCEPTANCE BY THE OWNER.
2. CONTRACTOR SHALL PROVIDE A SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE. CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED, AND EXISTING PLANTS WITHIN OR NEAR THE LIMITS OF CONSTRUCTION, SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK.
3. THE OWNER, TENANT, AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING AND IRRIGATION.
4. ALL REQUIRED LANDSCAPING AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. REFERENCE SPECIFICATIONS FOR MAINTENANCE REQUIREMENTS.
5. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREAS AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY AS NECESSARY.
6. PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY OF THE COMPARABLE MATERIAL ON SITE WITHIN TEN (10) DAYS.
7. REGULARLY INSPECT AND COORDINATE THE OPERATION OF THE IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED.
8. ALL IRRIGATION HEADS OR LINES WHICH ARE BROKEN SHALL BE REPLACED OR REPAIRED IN A TIMELY MANNER TO PREVENT THE WASTE OF WATER AND LOSS OF PLANT LIFE.
9. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
10. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS ACCEPTED BY THE OWNER. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

Table with 2 columns: SITE DATA FOR RAISING CANES REDEVELOPMENT, ROCKWALL CENTRE CORNERS ADDITION BLOCK 1, LOT 3. Rows include GENERAL, EXISTING ZONING, PROPOSED ZONING, CURRENT USE, PROPOSED USE, FRONT SETBACK, SIDE SETBACK, REAR SETBACK, TOTAL LOT AREA, BUILDING AREA, BUILDING COVERAGE, FLOOR AREA RATIO, EXISTING BUILDING HEIGHT, PARKING RATIO, PARKING RATIO (PATIO), PARKING REQUIRED, PARKING PROVIDED, ADA PARKING REQUIRED, ADA PARKING PROVIDED, LANDSCAPE AREA PROPOSED, IMPERVIOUS AREA PROPOSED, TOTAL IMPERVIOUS AREA, IMPERVIOUS AREA PERCENTAGE.

PLANT SCHEDULE

Table with 7 columns: SYMBOL, CODE, COMMON NAME, BOTANICAL NAME, QTY, SIZE, REMARKS. Sections include SHADE TREES (UC CEDAR ELM, QV SOUTHERN LIVE OAK, QT TEXAS RED OAK), ORNAMENTAL TREES (VS SHOAL CREEK CHASTE TREE, LT TUSCARORA CRAPE MYRTLE), SHRUBS (MA DWARF SOUTHERN WAX MYRTLE, IN NELLIE R. STEVENS HOLLY, NP PONY TAILS MEXICAN FEATHER GRASS), and GROUND COVERS (RR RIVER ROCK 'COLORADO', CN TAHOMA 31 BERMUDAGRASS).

MATERIALS SCHEDULE

Table with 3 columns: SYMBOL, DESCRIPTION, QTY. Row: STEEL LANDSCAPE EDGING, REFERENCE NOTES & SPECS FOR MORE DETAILS, 113 LF.

NOTE:

- 1. ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
2. ALL TREES SHALL HAVE A FULL AND UNIFORM CANOPY.
3. ROOT BALLS SHOULD BE WELL-FORMED, INTACT, WITH TRUNK FIRMLY ATTACHED. MINIMUM ROOT BALL SIZE FOR A 4" CALIPER TREE IS 40".
4. PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
5. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.
6. DO NOT INSTALL STEEL EDGING ALONG SIDEWALKS, CURBS, OR INSIDE PLANT BEDS.
7. ALL IRRIGATION SYSTEMS SHALL COMPLY WITH THE IRRIGATION CODE OF CHAPTER 10, BUILDINGS AND BUILDING REGULATIONS, ARTICLE XVI, IRRIGATION CODE, OF THE CITY OF ROCKWALL CODE OF ORDINANCES, AND ALL APPLICABLE STATE LAWS, AS MAY BE AMENDED.

Table with 3 columns: REQUIREMENT, REQUIRED, PROVIDED. Title: CITY OF ROCKWALL LANDSCAPE REQUIREMENTS. Rows include NON-RESIDENTIAL LANDSCAPE BUFFERS, IH 30 OVERLAY STANDARDS, LANDSCAPE REQUIREMENTS COMMERCIAL / LIGHT INDUSTRIAL DISTRICT, DETENTION BASINS, PARKING LOT LANDSCAPE.

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

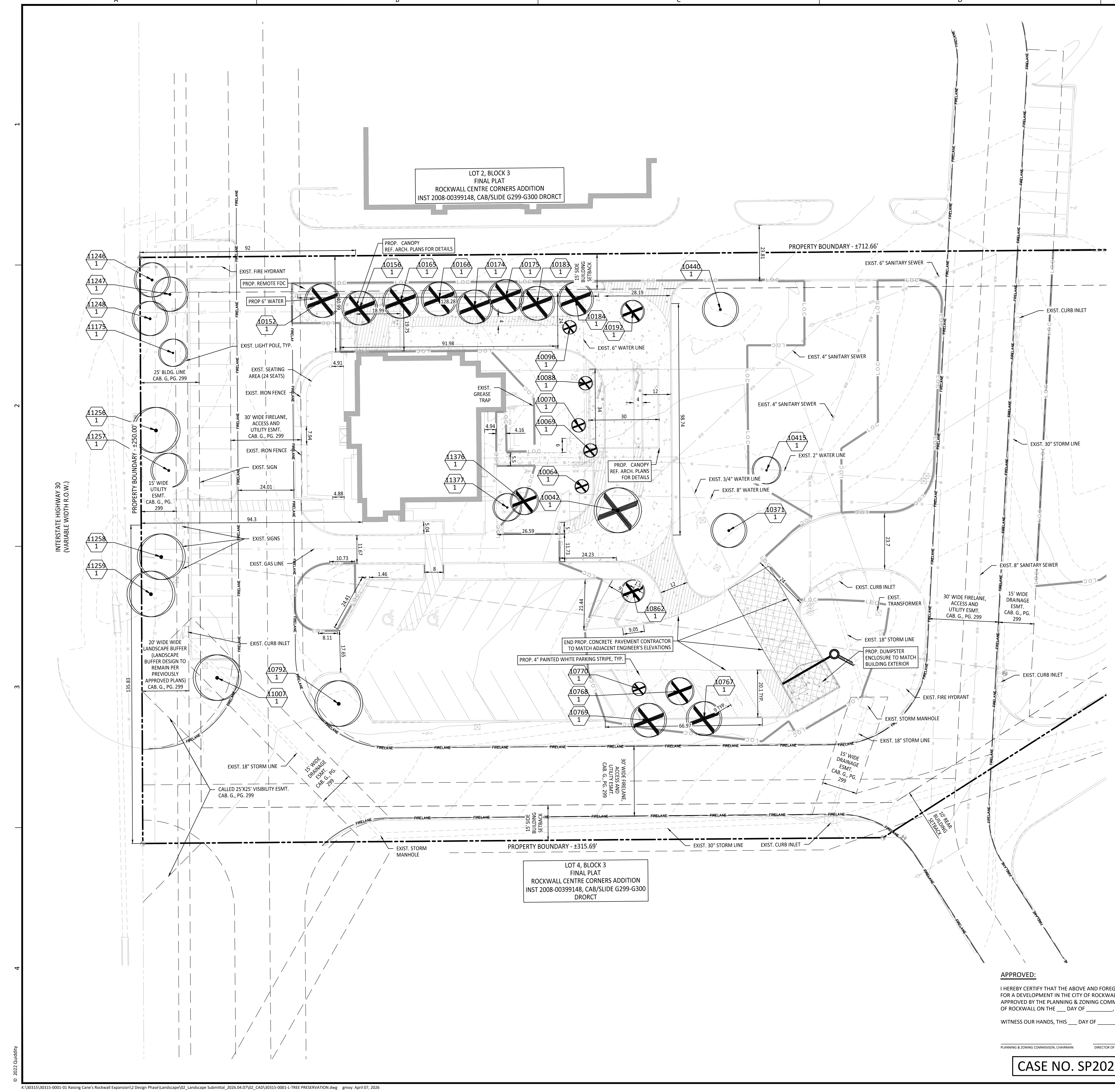
CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION
TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!
www.texas811.org
Texas811 or 1-800-545-6005

Table with 2 columns: No., Date. Section: REVISIONS.

QUIDDITY logo and contact information. Includes fields for SCALE, DATE, JOB NO., DESIGNED BY, CHECKED BY, DRAWN BY.

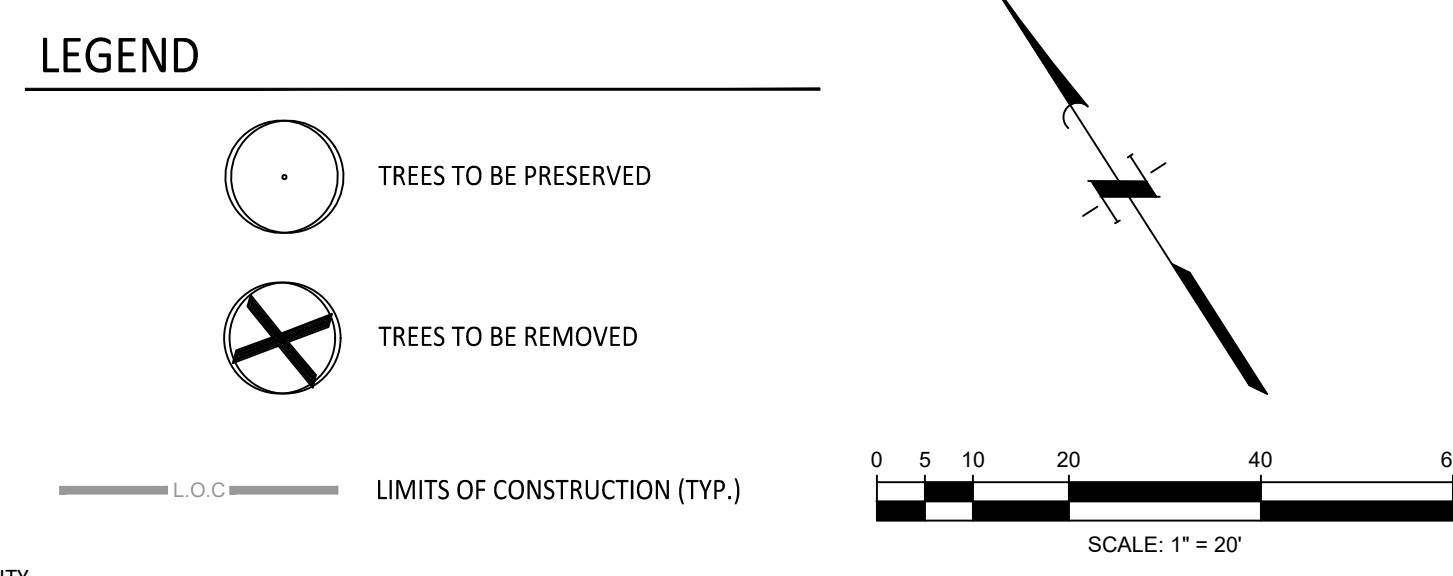
INTERIM REVIEW
THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND ARE NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION. THEY ARE PREPARED BY, OR UNDER THE SUPERVISION OF:
Landscape Architect: CHELSEA M. KLUYKENDALL, PLA # 3619
Date: April 7, 2026

RAISING CANES - ROCKWALL - I-30 FRONTAGE ROAD
11114 EAST I-30 FRONTAGE ROAD, ROCKWALL, TEXAS, 75082
GENERAL LANDSCAPE NOTES & SCHEDULE
ROCKWALL CENTRE CORNERS ADDITION
BLOCK 1, LOT 3, .ACRES 2.951
SHEET NO. L-4



| TREE INVENTORY | | | |
|------------------------------|---|------|-----|
| CODE | BOTANICAL / COMMON NAME | SIZE | QTY |
| TREES TO BE PRESERVED | | | |
| 11377 | LARGERSTROMEEIA INDICA / CRAPE MYRTLE | 14" | 1 |
| 10792 | QUERCUS BUCKLEYI / TEXAS RED OAK | 14" | 1 |
| 11007 | QUERCUS BUCKLEYI / TEXAS RED OAK | 16" | 1 |
| 11175 | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK | 10" | 1 |
| 10415 | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK | 10" | 1 |
| 10440 | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK | 12" | 1 |
| 10371 | QUERCUS VIRGINIANA / SOUTHERN LIVE OAK | 12" | 1 |
| 11248 | TAXODIUM DISTICHUM / BALD CYPRESS | 12" | 1 |
| 11247 | TAXODIUM DISTICHUM / BALD CYPRESS | 14" | 1 |
| 11246 | TAXODIUM DISTICHUM / BALD CYPRESS | 14" | 1 |
| 11257 | TAXODIUM DISTICHUM / BALD CYPRESS | 14" | 1 |
| 11258 | TAXODIUM DISTICHUM / BALD CYPRESS | 16" | 1 |
| 11259 | TAXODIUM DISTICHUM / BALD CYPRESS | 16" | 1 |
| 11256 | TAXODIUM DISTICHUM / BALD CYPRESS | 16" | 1 |
| TREES TO BE REMOVED | | | |
| 11376 | LARGERSTROMEEIA INDICA / CRAPE MYRTLE | 14" | 1 |
| 10069 | MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM MAGNOLIA | 5" | 1 |
| 10064 | MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM MAGNOLIA | 6" | 1 |
| 10096 | MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM MAGNOLIA | 6" | 1 |
| 10770 | MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM MAGNOLIA | 6" | 1 |
| 10070 | MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM MAGNOLIA | 6" | 1 |
| 10088 | MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM MAGNOLIA | 8" | 1 |
| 10042 | QUERCUS BUCKLEYI / TEXAS RED OAK | 10" | 1 |
| 10862 | QUERCUS BUCKLEYI / TEXAS RED OAK | 6" | 1 |
| 10192 | QUERCUS BUCKLEYI / TEXAS RED OAK | 8" | 1 |
| 10768 | TAXODIUM DISTICHUM / BALD CYPRESS | 10" | 1 |
| 10174 | TAXODIUM DISTICHUM / BALD CYPRESS | 12" | 1 |
| 10175 | TAXODIUM DISTICHUM / BALD CYPRESS | 12" | 1 |
| 10767 | TAXODIUM DISTICHUM / BALD CYPRESS | 12" | 1 |
| 10183 | TAXODIUM DISTICHUM / BALD CYPRESS | 12" | 1 |
| 10156 | TAXODIUM DISTICHUM / BALD CYPRESS | 12" | 1 |
| 10166 | TAXODIUM DISTICHUM / BALD CYPRESS | 14" | 1 |
| 10184 | TAXODIUM DISTICHUM / BALD CYPRESS | 14" | 1 |
| 10769 | TAXODIUM DISTICHUM / BALD CYPRESS | 14" | 1 |
| 10152 | TAXODIUM DISTICHUM / BALD CYPRESS | 14" | 1 |
| 10165 | TAXODIUM DISTICHUM / BALD CYPRESS | 14" | 1 |

| CITY OF ROCKWALL TREESCAPE REQUIREMENTS | | |
|---|---|---|
| REQUIREMENT | REQUIRED | PROVIDED |
| TREE MITIGATION | PRIMARY PROTECTED TREES (4" - 25" DBH)
MITIGATION REQUIREMENT = 1" : 1"
TOTAL INCHES = 215" | |
| | SECONDARY PROTECTED TREES (8" OR GREATER)
MITIGATION REQUIREMENT = 1 X 4" CALIPER TREE
TOTAL INCHES = 0" | (54) 4" CAL. TREES
54 * 4 = 216"
REFERENCE LANDSCAPE PLAN |
| | FEATURED TREES (GREATER THAN 25")
MITIGATION REQUIREMENT = 1" : 2"
TOTAL INCHES = 0" | |
| TREE PRESERVATION CREDITS | TREE PRESERVATION CREDITS
FOR EACH SAVED OAK, PECAN, OR ELM(S) TREE
25" OR GREATER THE MITIGATION BALANCE CAN
BE REDUCED ON AN INCH-FOR-INCH BASIS FOR UP
TO 20%.
TOTAL TREE PRESERVATION CREDITS = 0" | N/A |



APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING & ZONING COMMISSION CHAIRMAN DIRECTOR OF PLANNING AND ZONING

CASE NO. SP2026-009

CAUTION: OVERHEAD ELECTRIC
CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION, CONSTRUCTION AND ALL ACTIVITIES ON SITE AND STAY AWAY FROM ALL OVERHEAD POWER. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS DEALING WITH CLEARANCES AND CONSTRUCTION ACTIVITIES.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

**TEXAS811 NOTIFICATION SYSTEM
CALL BEFORE YOU DIG!!!**
www.texas811.org
Texas811 or 1-800-545-6005

RAISING CANES - ROCKWALL - I-30 FRONTAGE ROAD
1114 EAST I-30 FRONTAGE ROAD, ROCKWALL, TEXAS, 75082

TREESCAPE PLAN
ROCKWALL CENTRE CORNERS ADDITION
BLOCK 3, LOT 3, ACRES 2.951

SHEET NO. **L-4**

DATE: APRIL 2026

DESIGNED BY: CLM CHECKED BY: CMK DRAWN BY: CLM

JOB NO.: 30315-0001-01

SCALE: AS SHOWN

INTERIM REVIEW

THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND ARE NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION. THEY ARE PREPARED BY, OR UNDER THE SUPERVISION OF:

Landscape Architect: CHELSEA M. KLUYKENDALL, PLA PLA # 3619
Date: April 7, 2026

QUIDDITY
4000 West Loop South, Suite 200, Houston, Texas 77027-4299
Professional Engineer License No. 24290

REVISIONS

| No. | Date |
|-----|------|
| | |

KEYED NOTES

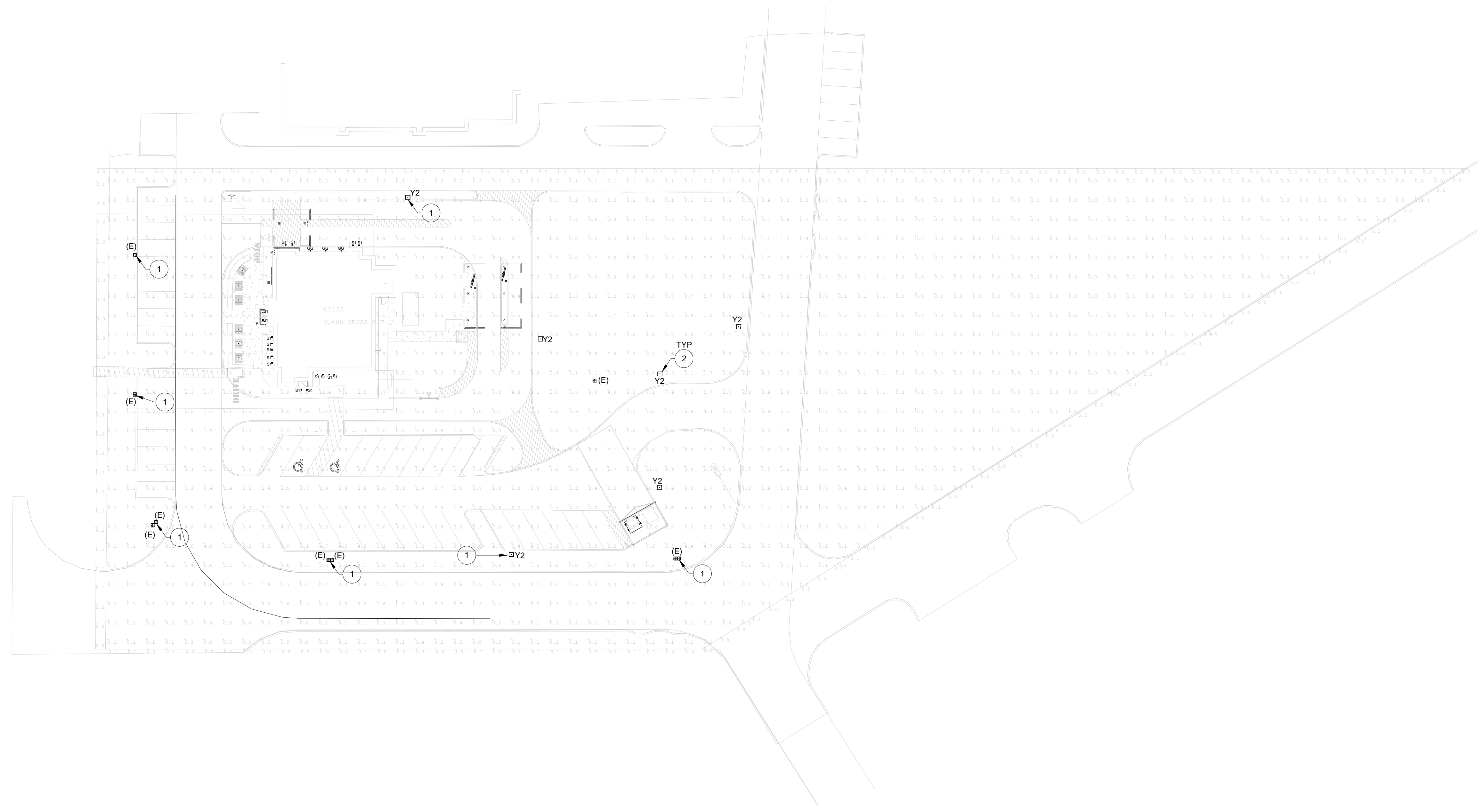
1. CONTRACTOR TO PROVIDE COMPATIBLE AREA LIGHT CUTOFF SHIELD ON EXISTING AND NEW SITE FIXTURES TO REDUCE LIGHT LEVELS AT PROPERTY LINE. THE FOOT CANDLE READING AT ALL PROPERTY LINES MUST NOT EXCEED 0.2FC PER SUBSECTION 03.03, OF ARTICLE 07, UDC.
2. NEW SITE LIGHTS TO BE MOUNTED WITH THE TOP OF THE FIXTURE AT 25' ABOVE GRADE. LIGHTING POLE HEIGHT IS NOT TO EXCEED 30 FEET PER SUBSECTION 03.03, OF ARTICLE 07, UDC.



SEAL: **NOT FOR CONSTRUCTION**

CONSULTANT: **Scott C. Odom**
teamofchoice.com P.E.

SUITE 5530 479-636-5004
1905 N 2ND ST JOB NO.: 040152.001
ROGERS, AR 72756 DESIGNED BY: EAF



1 SITE PHOTOMETRIC PLAN
1/32" = 1'-0"



| Symbol | Qty | Label | Arrangement | Description | Tag | Mounting | LLF | Luminaire Lumens | Luminaire Watts | Total Watts |
|----------|-----|--|-------------|--|-----|---------------|-------|------------------|-----------------|-------------|
| [Symbol] | 3 | EXTERIOR SCORCE | Single | BOCK - W15-G0 / 41 / G-G0 / LV901 - 19W - 30K - 120 | GG | Wall | 1.000 | 1420 | 12 | 36 |
| [Symbol] | 40 | LED TAPELIGHT & COMPONENTS | Single | CON-TECH - TL24V23K12 / TL24V23K12 | P | Wall | 1.000 | 447 | 4 | 360 |
| [Symbol] | 1 | SITE LINEAR WALL MOUNTED SIGN LIGHTNER | Single | SPI LIGHTING - SEW-12146-13 5FT - 140W-ANK8-120-27TV-30K-3FT-RLN-OAL | III | Wall | 1.000 | 5941 | 18 | 18 |
| [Symbol] | 17 | SITE CANOPY RECESSED MOUNTED LED | Single | 3500K, 80CRI | S1 | Recessed | 1.000 | 3368 | 38 | 646 |
| [Symbol] | 3 | EXISTING SITE POLE LIGHT | Single | DS8X-320AMP-XX-48-SS-XX-HS | E1 | Existing Pole | 1.000 | 1867 | 300 | 2970 |
| [Symbol] | 6 | SITE POLE LIGHT | Single | DSX1 LED P3 3K 80CRI AFR | Y2 | Pole (25') | 1.000 | 13211 | 102.17 | 613.02 |

| Calculation Summary | Calc Type | Units | Avg | Max | Min | Avg/Min | Max/Min |
|---------------------|-------------|-------|------|------|-----|---------|---------|
| Label PROPERTY LINE | Illuminance | Fc | 0.00 | 0.2 | 0.0 | N.A. | N.A. |
| SITE PLAN | Illuminance | Fc | 1.43 | 46.3 | 0.0 | N.A. | N.A. |

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ____, 2026.
WITNESS OUR HANDS, THIS ___ DAY OF ____, 2026.
PLANNING & ZONING COMMISSION CHAIRMAN DIRECTOR OF PLANNING AND ZONING

CASE NO. SP2026-009

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BIDS. CONTRACTOR SHALL CAREFULLY COORDINATE NEW WORK AND DEMOLITION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.
EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THE RESPONSIBILITY OF PERFORMING THE WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.



RAISING CANE'S
RESTAURANT NO.: C0152
1114 E INTERSTATE 30
ROCKWALL, TX 75087

| REV | DATE | DESCRIPTION |
|-----|------------|----------------------|
| | 03/12/2026 | PHOTOMETRICS SKETCH |
| | 03/30/2026 | PHOTOMETRICS UPDATES |
| | XX/XX/2026 | PERMIT SET |

DRAWN BY: TRM
CHECKED BY: SCO

ARCH. PROJECT NO.: **C0152**

SHEET NAME: **SITE PHOTOMETRIC PLAN**

SHEET NUMBER: **E1.01**



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2026
APPLICANT: Grant Young; *Big-Tex Trailers*
CASE NUMBER: Z2026-011; *Specific Use Permit (SUP) for Big-Tex Trailers*

On August 4, 2008, the City Council approved a request [Case No. Z2008-014] for approval of a Specific Use Permit (SUP) [Ordinance No. 08-38; SUP No. S-056] to allow a recreational vehicle "RV" sales and service facility in a Light Industrial (LI) District. At that time, a condition of approval stated that the Specific Use Permit (SUP) would be valid for a period of three (3) years, commencing on the date a Certificate of Occupancy (CO) was issued for the use; however, the SUP ordinance permitted the owner to petition the City Council for an extension of the Specific Use Permit (SUP) 90-days prior to the date of expiration. The intent was to allow the City Council to examine the status of the FM-549 overpass construction and/or development activity in the area to determine if an extension to the Specific Use Permit (SUP) is warranted.

On September 16, 2008, a Certificate of Occupancy (CO) [CO2008-0217] was issued to Walkabout RV, LLC and when the business owner changed, a new Certificate of Occupancy (CO) [CO2009-0100] was issued to Big-Tex Trailers (*i.e. the current occupant*). On April 1, 2011, the applicant submitted a request for an extension to the Specific Use Permit (SUP), which was granted by the City Council [Ordinance No. 08-38; SUP No. S-056] on April 18, 2011. Subsequently, the City Council approved the second extension of the Specific Use Permit (SUP) [Ordinance No. 08-38; SUP No. S-056] on April 7, 2014. On February 14, 2017, the applicant submitted a third request [Case No. Z2017-008] for an extension of the Specific Use Permit (SUP). In response to this, the City Council requested that the applicant amend the Specific Use Permit (SUP) from *recreational vehicle (RV) sales and service facility* to *outside storage* to reflect the changes in use of the property. Subsequently, on April 17, 2017 the City Council rescinded Ordinance No. 08-38; SUP No. S-056 and approved Ordinance No. 17-20; SUP No. S-164, allowing outside storage in a Light Industrial (LI) District. A condition of approval stated that the SUP ordinance would expire three (3) years from date of approval (*i.e. April 17, 2020*) and permitted the applicant to request an extension to the Specific Use Permit (SUP) no less than 90-days prior to the date of expiration. The City Council approved two (2) additional extensions on February 3, 2020 [Case No. Z2019-027; Ordinance No. 20-01] and December 5, 2022.

In addition to the expiration period, the applicant's Specific Use Permit (SUP) permitted site improvements to be delayed. These improvements included concrete paving for the *Outside Storage*, landscape screening, and the extension of a 12-inch water line from FM-549. In accordance with this operational condition, the applicant -- *Grant Young of Big Tex Trailers on behalf of Raymond Jowers of Jowers, Inc.* -- submitted a development application, site plan, landscape plan, paving plan, and letter requesting to extend the Specific Use Permit (SUP) for a period of ten (10) years and install the necessary paving, landscaping, and water line improvements.

Staff should note, before the applicant's Specific Use Permit (SUP) submittal, they submit civil engineering plans which have been reviewed and are waiting on off-site easements. The site plan and paving plan submitted with this request are consistent with what is pending approval from the Engineering Department. In addition, the submitted site plan and paving plans generally conform to the requirements of the Unified Development Code (UDC). The proposed landscape plan indicates that the applicant will be [1] installing landscaping and berms along E. IH-30, [2] providing canopy and accent trees within the detention ponds, and [3] providing three (3) tiered landscaping around the *Outside Storage* areas. These proposed landscape improvements meet the requirements of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). That being said, staff has included a *Condition of Approval* that all trees cannot be located within a utility easement. Currently, the landscape plan shows seven (7) canopy trees and four (4) accent trees that will need to be shifted outside of a utility easement. In addition, the applicant has indicated that all of the proposed improvements will be installed by January 1, 2027. Given this, staff has included an additional *Condition of Approval* that all of the proposed improvements shall be installed by January 1, 2027, otherwise the Specific Use Permit (SUP) shall expire. Lastly, staff should note that the applicant

has indicated a six (6) foot wrought iron fence around the property, which conforms to the *Operation Condition* included in the draft ordinance.

When examining the applicant's request, staff should point out that the current facility has been in operation since 2009 (*i.e. approximately 18 years*). At the time *Ordinance No. 08-38; SUP No. S-156* was approved, it appears that a majority of the surrounding properties were either undeveloped or not within the corporate limits of the City of Rockwall. The construction of the FM-549 overpass was anticipated to begin between February and July of 2010 (*i.e. within two [2] years of approval of the SUP*) and would take approximately 18-24 months to complete. At that time, the City Council expressed an interest for the applicant to limit the leasing of the property to Big-Tex Trailers for a period of less than three (3) years. This appears to correspond to the anticipated completion date of the proposed overpass construction and the City Council's expectation that the area would re-develop at that time. With no additional development taking place during that time, it seems that subsequent extensions of the Specific Use Permit (SUP) were granted by the City Council. The construction of the FM-549 overpass was delayed and did not start until 2017 (*i.e. approximately seven [7] years after the anticipated start date*) and was completed in 2019. Other development since the previous extension of the Specific Use Permit (SUP) includes [1] a sports complex (*i.e. Fit Sport Life*); [2] two (2) *Warehouse/Distribution Facilities* off Data Drive; [3] the expansion for Pratt Industries, which had a site plan approved January 13, 2026; and [4] a *Retail Store with Gasoline Sales* (*i.e. 7-11*). In summary, the original Specific Use Permit (SUP) was limited to three (3) years due to the construction of the FM-549 overpass, the lack of development surrounding the subject property, and whether the proposed land use would be appropriate in the future. Based on this, the Planning and Zoning Commission and City Council is being tasked with determining whether the proposed land use is appropriate on the subject property moving forward given the completion of the FM-549 overpass in 2019 and the recent development near the subject property.

All this being said, this Specific Use Permit (SUP) request is a discretionary decision for the City Council, pending a recommendation from the Planning and Zoning Commission. In accordance with the requirements of the Unified Development Code (UDC) and State law, staff notified all properties within 500-feet of its boundary. These notices were sent out on March 17, 2026, and included six (6) notices. As of this memorandum, staff has not received any notices with regard to the applicant's request. If the Planning and Zoning Commission have any questions concerning this case, staff and the applicant will be available at the April 14, 2026 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2260 E Interstate 30, Rockwall, TX 75087

SUBDIVISION Robert Boyd Irvine Survey Abstract No. 120

LOT

BLOCK

GENERAL LOCATION East of Southeast Corner of I-30 & F.M. 3549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE

Trailer Sales & Repair

PROPOSED ZONING Light Industrial with SUP

PROPOSED USE

Trailer Sales & Repair

ACREAGE 4.341

LOTS [CURRENT]

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Jowers, Inc.

APPLICANT Big Tex Trailers

CONTACT PERSON Raymond Jowers

CONTACT PERSON Grant Young

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

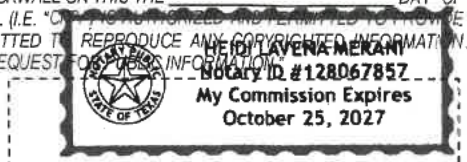
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Raymond Jowers [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO REPRODUCE ANY INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY INFORMATION CONTAINED WITHIN THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF February, 2026

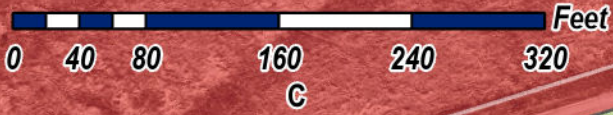
OWNER'S SIGNATURE: _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

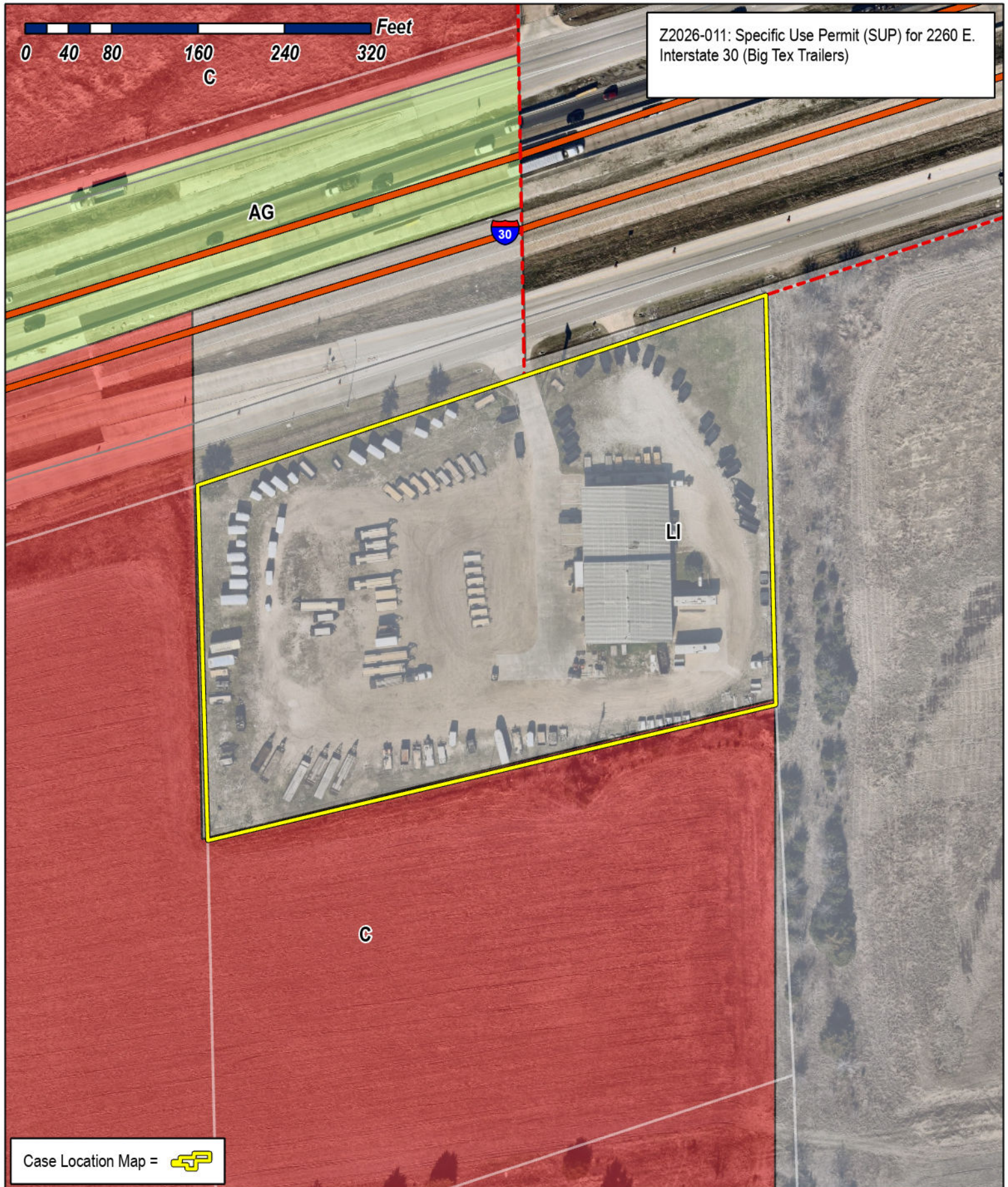


MY COMMISSION EXPIRES

10/25/27



Z2026-011: Specific Use Permit (SUP) for 2260 E. Interstate 30 (Big Tex Trailers)



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

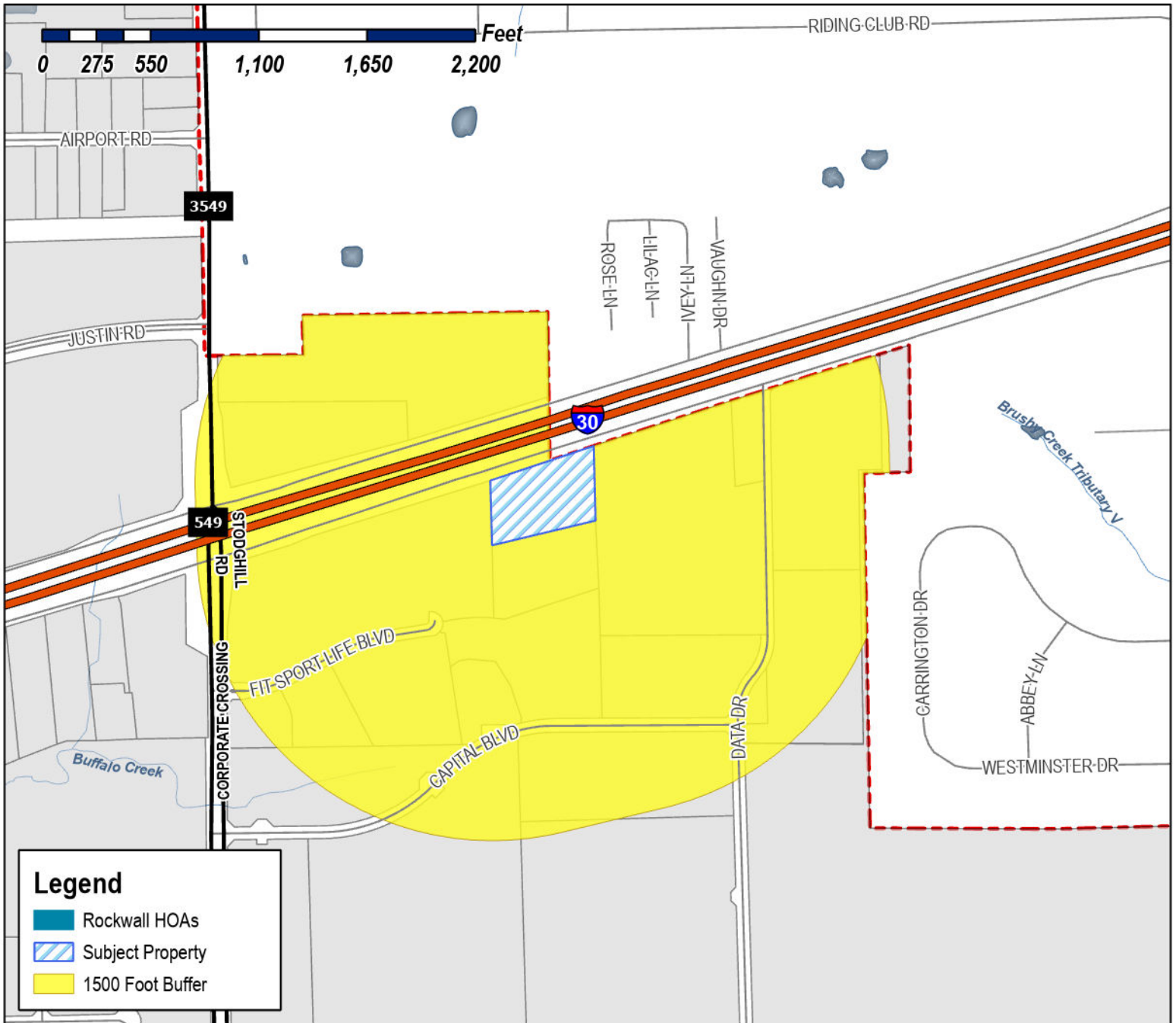




City of Rockwall

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Case Number: Z2026-011
Case Name: Specific Use Permit (SUP) for Big Tex Trailers
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 2260 E. Interstate 30

Date Saved: 3/9/2026
 For Questions on this Case Call (972) 771-7745

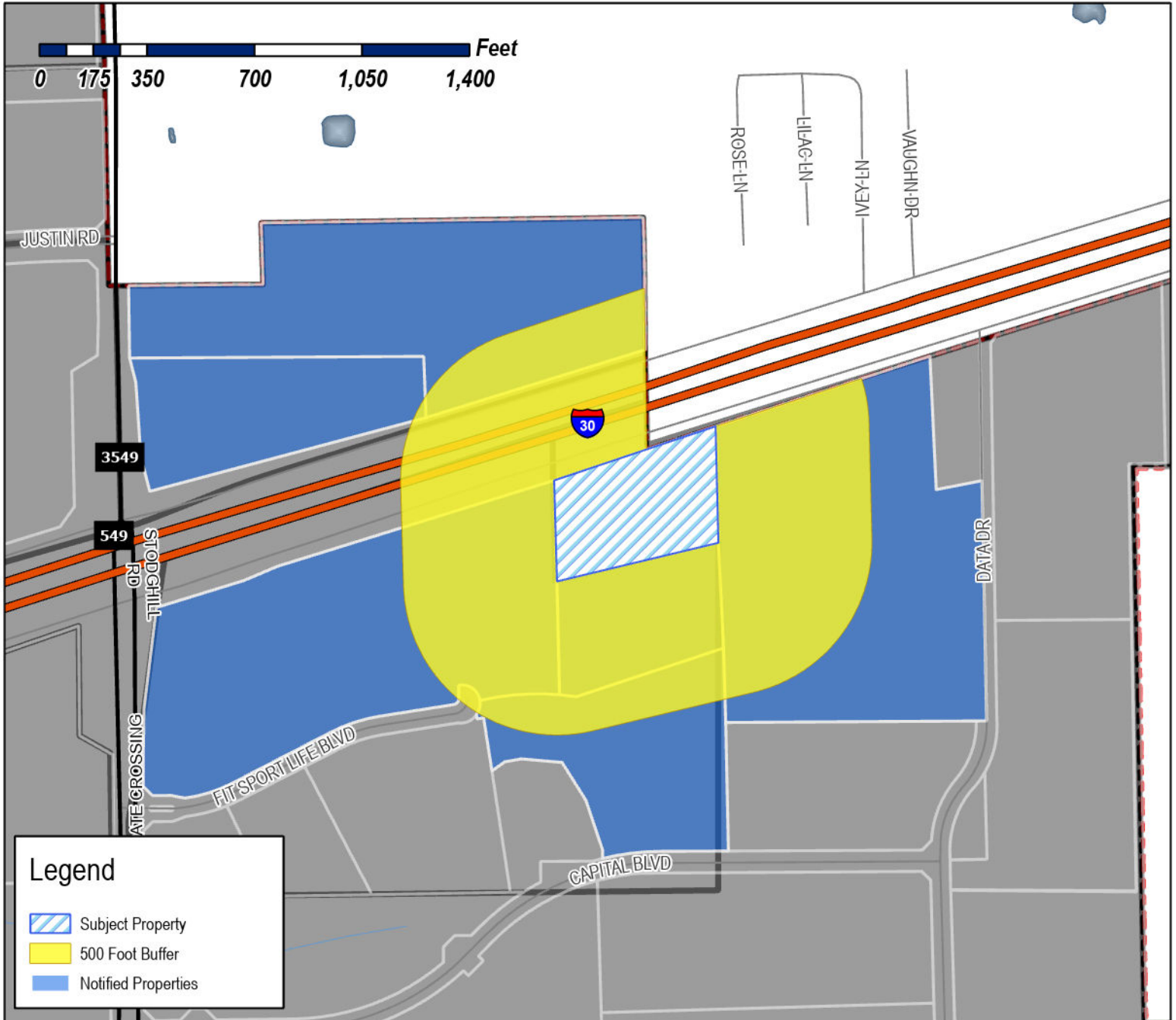




City of Rockwall

Planning & Zoning Department
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(W): www.rockwall.com

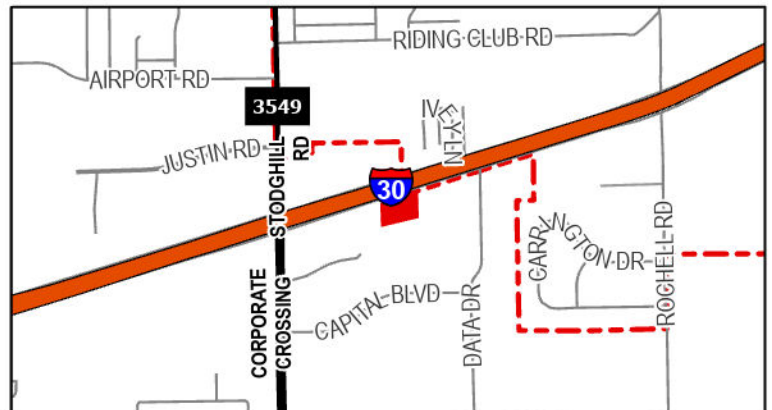
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2026-011
Case Name: Specific Use Permit (SUP) for Big Tex Trailers
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 2260 E. Interstate 30

Date Saved: 3/4/2026

For Questions on this Case Call: (972) 771-7745



MIRANDA VINOD
9105 BRIARCREST DR
ROWLETT, TX 75088

WALLIS RUSTY FAMILY LTD PARTNERSHIP #2
12277 SHILOH RD
DALLAS, TX 75228

MIRANDA VINOD
9105 BRIARCREST DR
ROWLETT, TX 75088

JOWERS INC
PO BOX 1870
ROCKWALL, TX 75087

STRUCTURED REA- ROCKWALL LAND LLC
3104 E Camelback Rd
Phoenix, AZ 85016

RESIDENT
2260 E I30
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2026-011: SUP for Big Tex Trailers

Hold a public hearing to discuss and consider a request by Grant Young of Big-Tex Trailers on behalf of Raymond Jowers of Jowers, Inc. for the approval of a Specific Use Permit (SUP) amending Ordinance No. 20-01 and allowing outside storage adjacent to IH-30 on a 4.4317-acre tract of land identified as Tract 22-01 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2260 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 14, 2026 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2026-011: SUP for Big Tex Trailers

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for the response.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

March 27, 2026

Memorandum

To: Henry Lee
Planning Department
City of Rockwall

From: W.L. "Dub" Douphrate II

Re: Big Tex Improvements for SUP Renewal

Henry, on behalf of our client Big Tex Trailers, please allow this letter to serve as their formal request to renew their Special Use Permit. Our firm has completed an approved engineering design which includes concrete paving , drainage , utility, and landscape improvements in order to bring the property into city code compliance. Currently our client is planning to move forward with all of these improvements within the next 30-45 days to start construction with the estimated time of completion by December of 2026. The cost of these improvements are extensive so our client respectfully requests the granting of the special use permit in perpetuity.

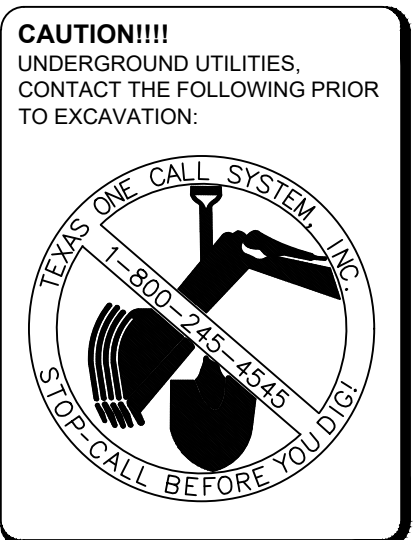
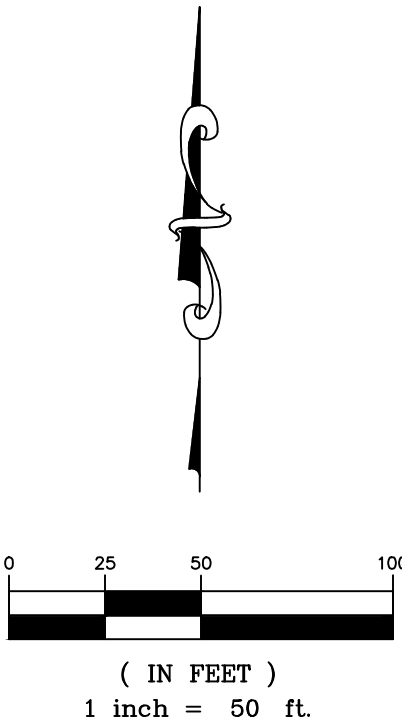
Thank you for your understanding in this matter

Sincerely,

W L Douphrate II

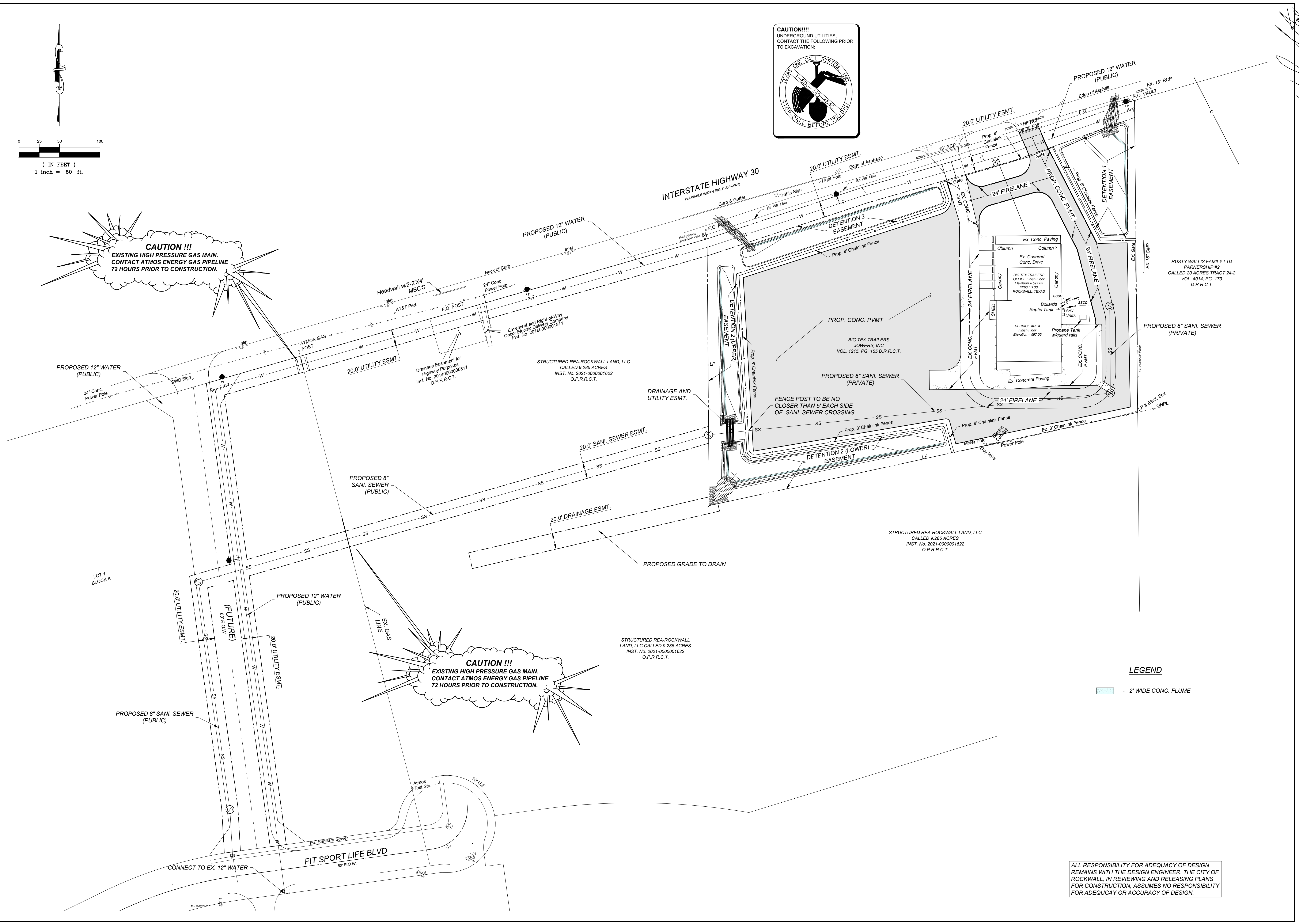
W.L. Douphrate II, P.E.

Cc: Grant Young



CAUTION !!!
EXISTING HIGH PRESSURE GAS MAIN.
CONTACT ATMOS ENERGY GAS PIPELINE
72 HOURS PRIOR TO CONSTRUCTION.

CAUTION !!!
EXISTING HIGH PRESSURE GAS MAIN.
CONTACT ATMOS ENERGY GAS PIPELINE
72 HOURS PRIOR TO CONSTRUCTION.



LEGEND
- 2' WIDE CONC. FLUME

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN
REMAINS WITH THE DESIGN ENGINEER. THE CITY OF
ROCKWALL, IN REVIEWING AND RELEASING PLANS
FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY
FOR ADEQUACY OR ACCURACY OF DESIGN.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRATE, P.E. LICENSE NO. 60102 STATE OF TEXAS DATE: NOVEMBER 13, 2025

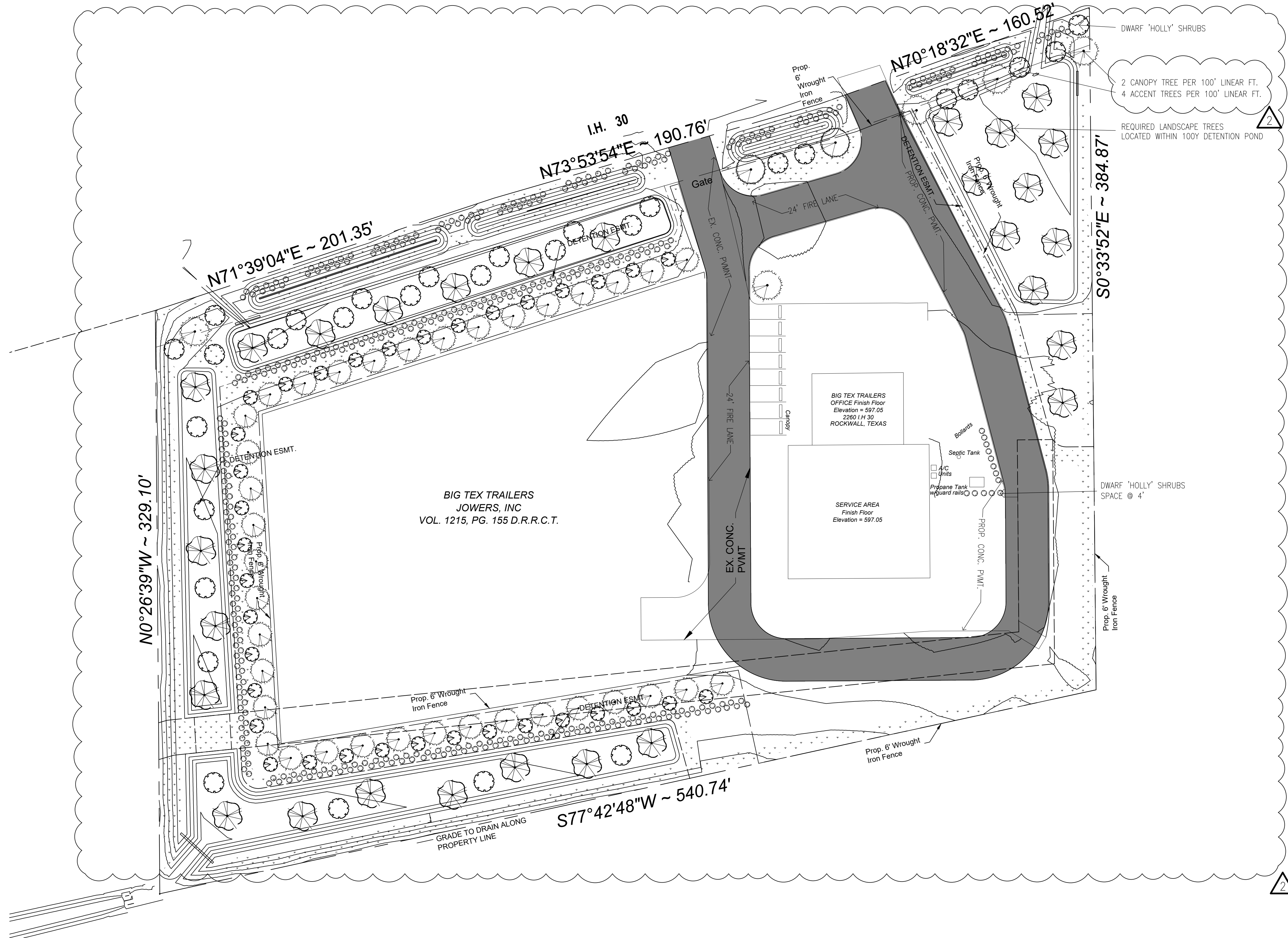
DOUPHRATE & ASSOCIATES, INC.
ENGINEERING-PROJECT MANAGEMENT SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN
BIG TEX TRAILERS
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

| | |
|----------|------------------|
| REVISION | WLD. |
| CHECKED | DLL |
| DRAWN | DLL |
| SCALE | 1" = 50' |
| DATE | NOV. 2025 |
| PROJECT | 25010 |
| | 2.1 |

P:\projects\25010\Design Files\25010 SITE BASE.dwg 2.1 SITE PLAN 2/19/2025 3:41:21 PM Lukin Douphrate

PROJECT LOCATION



REQUIRED DETENTION POND LANDSCAPE

| | |
|--|--------------------------------------|
| AREA (SF) / 750 = # OF CANOPY TREES | AREA (SF) / 1500 = # OF ACCENT TREES |
| DETENTION 1 : 10,000SF / 750 = 13 CANOPY TREES | 10,000 / 1500 = 6.67 ACCENT TREES |
| DETENTION 2 : 6,384SF / 750 = 8.51 ACCENT TREES | 6,384 / 1500 = 4.26 ACCENT TREES |
| DETENTION 2 UPPER : 4,746SF / 750 = 6.33 ACCENT TREES | 4,746 / 1500 = 3.16 ACCENT TREES |
| DETENTION 2 LOWER : 8,556SF / 750 = 11.41 ACCENT TREES | 8,556 / 1500 = 5.70 ACCENT TREES |

REQUIRED LANDSCAPE BUFFER @ ABUTTING ROW

NORTH
 -FRONTAGE ALONG I-30
 2 CANOPY TREE PER 100 LINEAL FEET.
 552.63' / 50' LINEAR FT PER TREE = 11.04
 TREES REQUIRED = 11
 TREES SHOWN = 11

4 ACCENT TREE PER 100 LINEAL FEET:
 552.63' / 25' LINEAR FT PER TREE = 22
 TREES REQUIRED = 22
 TREES SHOWN = 22

10 SHRUBS PER 30 LINEAL FEET: 253.09' / 3' = 84.4 SHRUBS
 REQUIRED SHRUBS PROVIDED : 85

SOUTH- NONE
EAST- NONE
WEST- NONE

ALL OUTSIDE STORAGE AREAS SHALL BE SCREENED FROM ALL PUBLIC STREETS, OPEN SPACE, ADJACENT PROPERTIES AND ANY RESIDENTIAL ZONING DISTRICTS.

IN ADDITION, THE UDC STATES THAT THE OUTSIDE STORAGE CAN BE SCREENED WITH EITHER A MASONRY WALL ONE (1) FOOT TALLER THAN WHAT IS BEING STORED AND CANOPY TREES ON 20-FOOT CENTERS, OR WITH A WROUGHT IRON FENCE AND THREE (3) TIERED SCREENING (I.E. SMALL TO MID-SIZED SHRUBS, LARGE SHRUBS OR ACCENT TREES, AND CANOPY TREES).

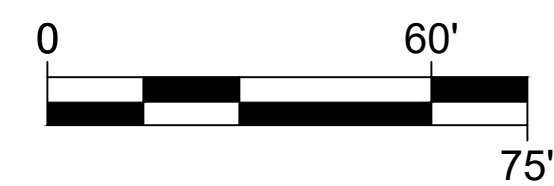
THREE TIERED SCREENING:
 -1 ROW OF CANOPY TREES 20' ON CENTER
 -1 ROW OF ACCENT TREES OR LARGE SHRUBS
 -1 ROW OF SMALL SHRUBS

APPLICABLE AREAS: ALL PUBLIC STREETS, OPEN SPACE, ADJACENT PROPERTIES AND ANY RESIDENTIAL ZONING DISTRICTS

TREE LIST AND LEGEND

| SYMBOL | TYPE | BOTANICAL / COMMON NAME | CONTAINER | QTY | SIZE HEIGHT | SYMBOL | TYPE |
|--------|--------|---|--------------------|-----|-------------------|--------|---|
| | CANOPY | Sapindus drummondii
BALD CYPRESS | BALLED & BURLAPPED | 38 | 6" CAL.
12'-0" | | BERMUDA GRASS - Cynodon dactylon |
| | CANOPY | Ulmus crassifolia
CEDAR ELM | BALLED & BURLAPPED | 43 | 6" CAL.
12'-0" | | CONCRETE |
| | ACCENT | Chilopsis linearis
Desert willow | BALLED & BURLAPPED | 30 | 3" CAL.
12'-0" | | MULCH, 2" MIN. SHREDDED HARDWOOD OR CYPRESS |
| | ACCENT | Juniperus virginiana
RED CEDAR | 3GAL | 37 | 36"H | | |
| | SHRUB | Ilex cornuta burfordii
BURFORD HOLLY | 3gal | 120 | 30"H | | |

NOTE:
 ALL TREES AND GRASS HAVE A 4" MULCH RING
 NO TREES TO BE WITHIN 5' OF PUBLIC UTILITIES
 INSTALL 'TEXAS SEDGE' - Carex texensis IN AREAS OF WATER DETENTION (~30,000 SF)



LANDSCAPE PLAN
 SCALE: 1" = 30'

ARCHITECT/PLANNER:
 ARCHITECTONICS TEXAS, LLC
 ROSS RAMSAY
 (469)974-8889
 2235 RIDGE RD., STE 201
 ROCKWALL, TEXAS 75087

TECHNO SYSTEM, INC.
 CONSULTING ENGINEERS

708 BRYSON WAY SOUTHLAKE, TEXAS 76092
 P: 214-415-0551 E: TEXASMEP2@GMAIL.COM
 FIRM No. F11167

| REVISIONS | DATE | DESCRIPTION/ISSUE |
|-----------|----------|---------------------------------------|
| 1 | 10/28/25 | RESPONSE TO COMMENTS - LANDSCAPE PLAN |
| 2 | 04/07/26 | RESPONSE TO COMMENTS - LANDSCAPE PLAN |

PROJECT NAME AND ADDRESS:
BIG TEX TRAILERS
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

| | |
|---------------|---------|
| PROJECT NO. | |
| DRAWN BY | |
| CHECKED BY | |
| DATE | 8/23/25 |
| SCALE | |
| SHEET NO. | of |
| DRAWING NAME: | |

L1.0

No "100 YEAR FLOOD PLAN" exists on this site. All current development requirements of the City as amended shall be met unless approved otherwise within these Planned Development Regulations.

This Proposed Site Concept is for illustrative purposes only and subject to change. This Proposed Site Concept, along with development regulations, is intended to describe the intent of the Planned Development. Significant deviations from this Proposed Site Concept, as determined by the Director, will require an amendment to the Proposed Site Concept and, as necessary, the development regulations.

All current development requirements of the City as amended shall be met unless approved otherwise within these Planned Development Regulations.

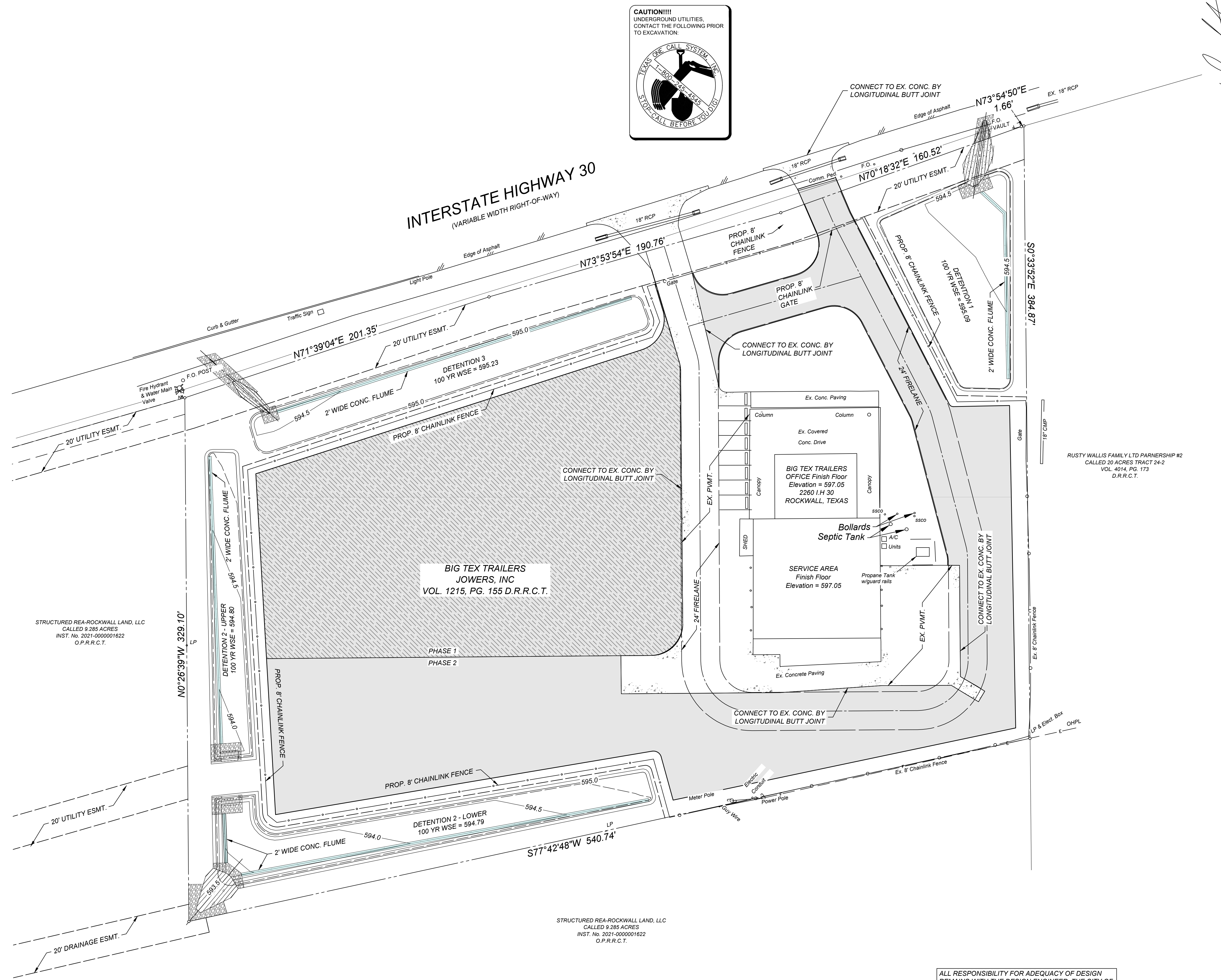
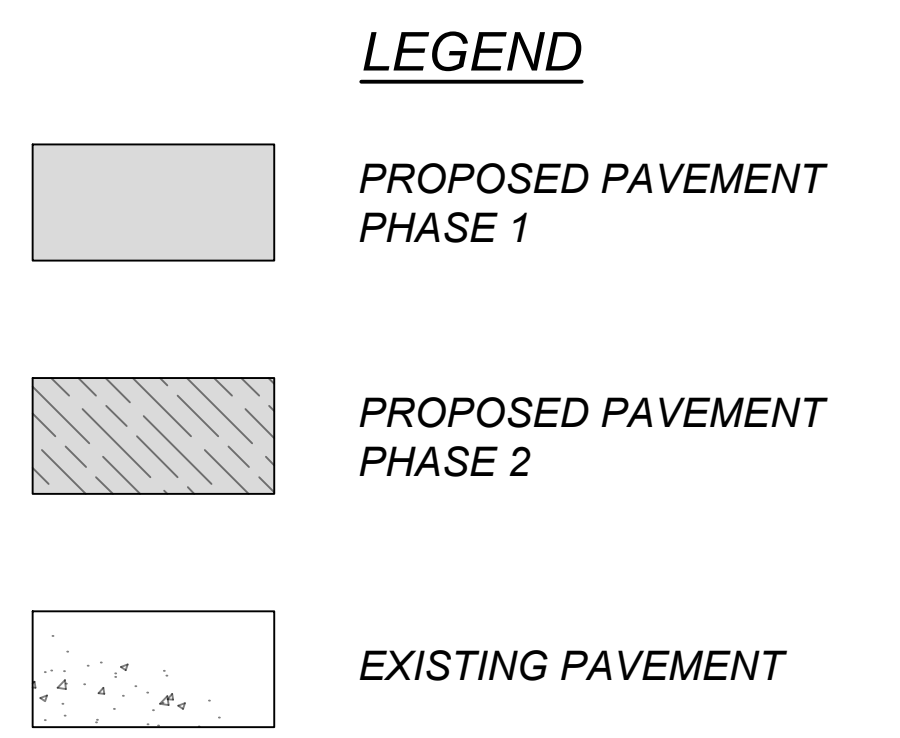
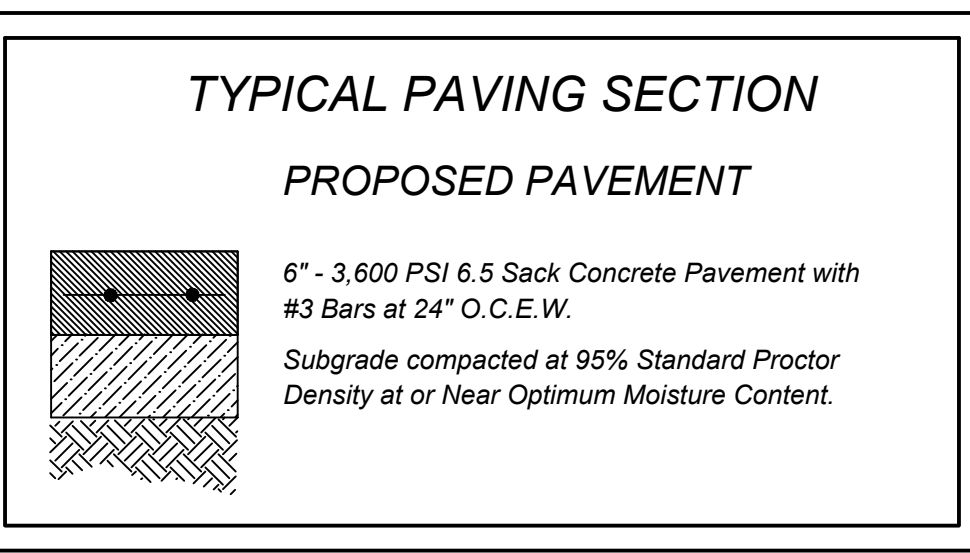
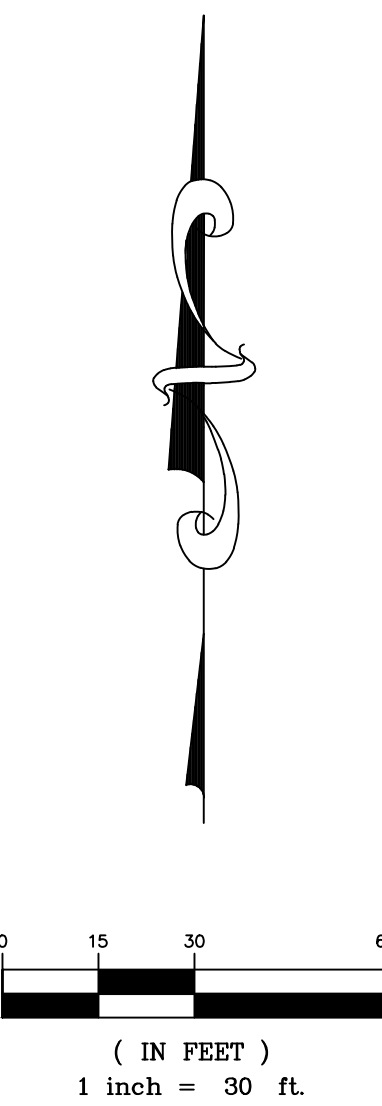
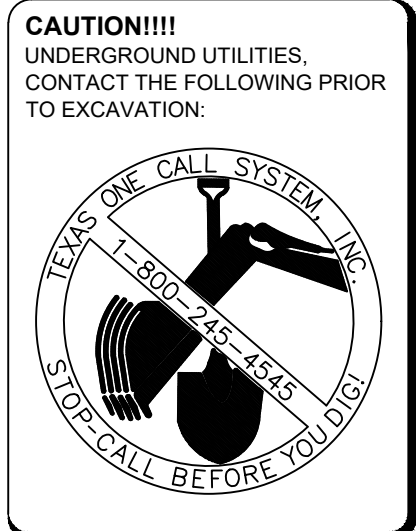


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY W.L. DOUPHRAE, STATE OF TEXAS, P.E. LICENSE NO. 60102, DATE: NOVEMBER 13, 2025

DOUPHRAE & ASSOCIATES, INC.
 ENGINEERING + PROJECT MANAGEMENT + SURVEYING
 2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
 PHONE: (972)771-9004 FAX: (972)771-9005

PAVING PLAN
BIG TEX TRAILERS
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

| | |
|----------|-----------|
| REVISION | WLD. |
| CHECKED | |
| DRAWN | DLL |
| SCALE | 1" = 30' |
| DATE | NOV. 2025 |
| PROJECT | 25010 |
| | 3.1 |



ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

P:\projects\25010\Design Files\25010 PAVING.dwg, 3.1 PAVING PLAN, 27/10/2025 3:43:50 PM, Luke Douphrate

CITY OF ROCKWALL

ORDINANCE NO. 20-01

SPECIFIC USE PERMIT NO. S-212

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW OUTSIDE STORAGE IN A LIGHT INDUSTRIAL (LI) DISTRICT WITHIN THE IH-30 OVERLAY (IH-30 OV) DISTRICT ON A 4.4317-ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 22-01 OF THE R. IRVINE SURVEY, ABSTRACT NO. 120, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Raymond Jowers for the approval of a Specific Use Permit (SUP) to allow outside storage on a 4.4317-acre parcel of land being described as Tract 22-01, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2260 E. IH-30 and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] and *Ordinance No. 17-20* of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No's. 17-20*;

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing *outside storage* as stipulated by Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 04-38*] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in

Section 5, *Industrial Districts*, and Subsection 6.06, *IH-30 Overlay (IH-30 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 04-38] as heretofore amended and as may be amended in the future, and shall be subject to the following conditions:

3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of outside storage on the *Subject Property* and conformance to these conditions are required for continued operations:

- 1) The Specific Use Permit (SUP) shall be valid for a period of three (3) years from the date of the approval of this ordinance. If an extension of the SUP is necessary, the owner shall submit a request in writing to staff no less than 90 days prior to the expiration of the SUP. Upon receipt of the request, the City Council shall review the SUP and determine if an extension of the SUP is permitted based on the development of FM-549 and the IH-30 overpass construction and/or other development activity in the area.
- 2) All outside display and outside storage of trailers shall generally conform to the concept plan depicted in *Exhibit 'B'* of this ordinance, which shall be incorporated herein by reference.
- 3) The outside display and outside storage of semi-trailers and tractor-trailers shall be prohibited.
- 4) City Council approval of the SUP includes a temporary waiver to certain engineering and fire department standards, including but not limited to, concrete paving requirements and the extension of a 12-inch water line from FM-549. Future development of the subject property will be subject to the Engineering and Fire Department standards in effect at the time of development.
- 5) In the event that the development expands the existing structure or adds additional buildings, the development will be subject to meet the requirements for fire protection.

3.2 COMPLIANCE

Approval of this ordinance – *in accordance with Subsection 2.05, City Council Action, of Article XI, Zoning Related Applications, of the Unified Development Code (UDC)* -- will require compliance to the following:

- 1) Upon obtaining approval of this Specific Use Permit (SUP), should the property owner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02.D(3) of Article XI, *Zoning Related Applications*, of the Unified Development Code (UDC).

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and

every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF FEBRUARY, 2020.**



Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: January 21, 2020

2nd Reading: February 3, 2020

Exhibit 'A'
Zoning Exhibit

Address: 2260 E. IH 30

Legal Description: Tract 22-01 of the R. Irvine Survey, Abstract No. 120

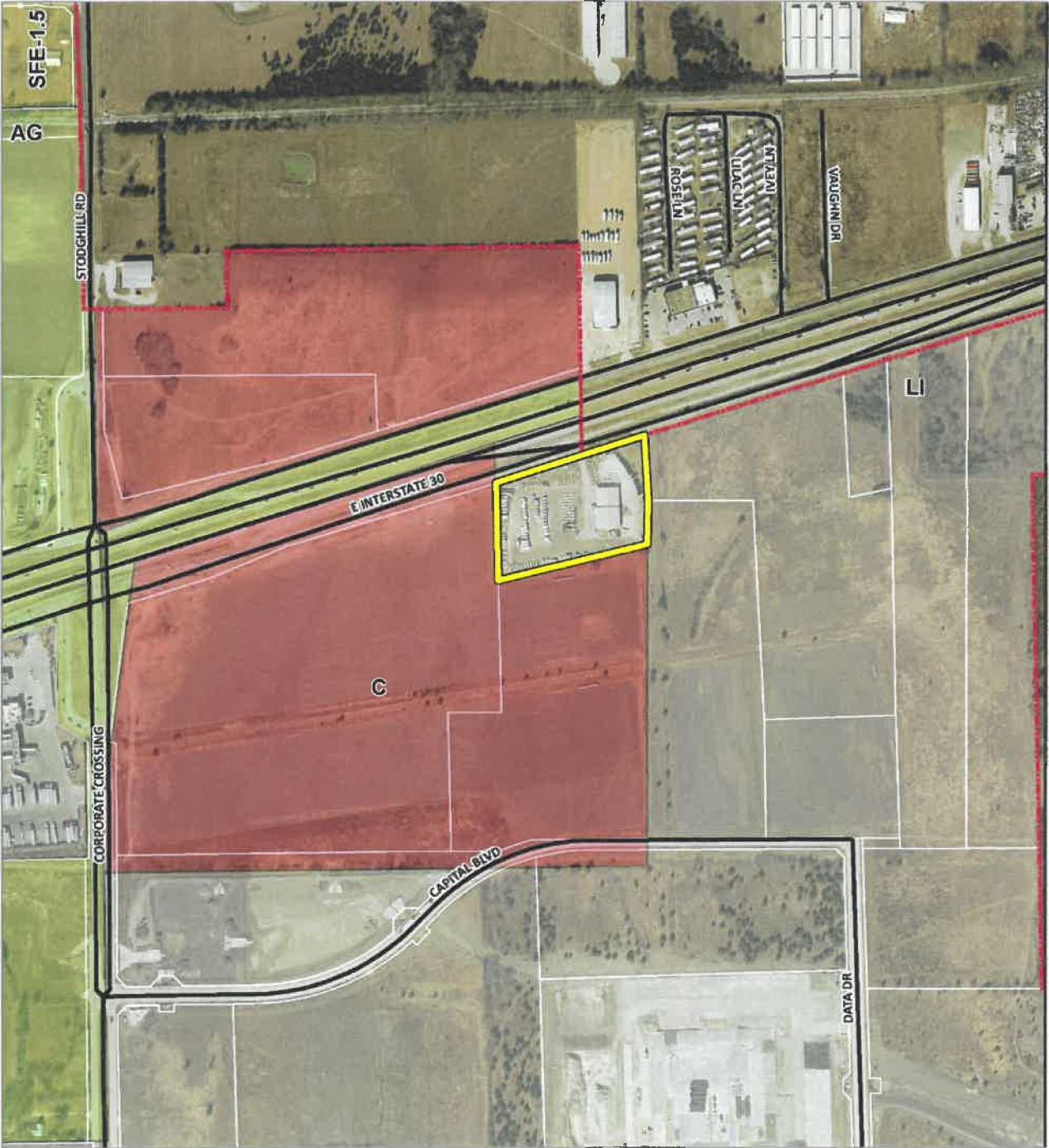
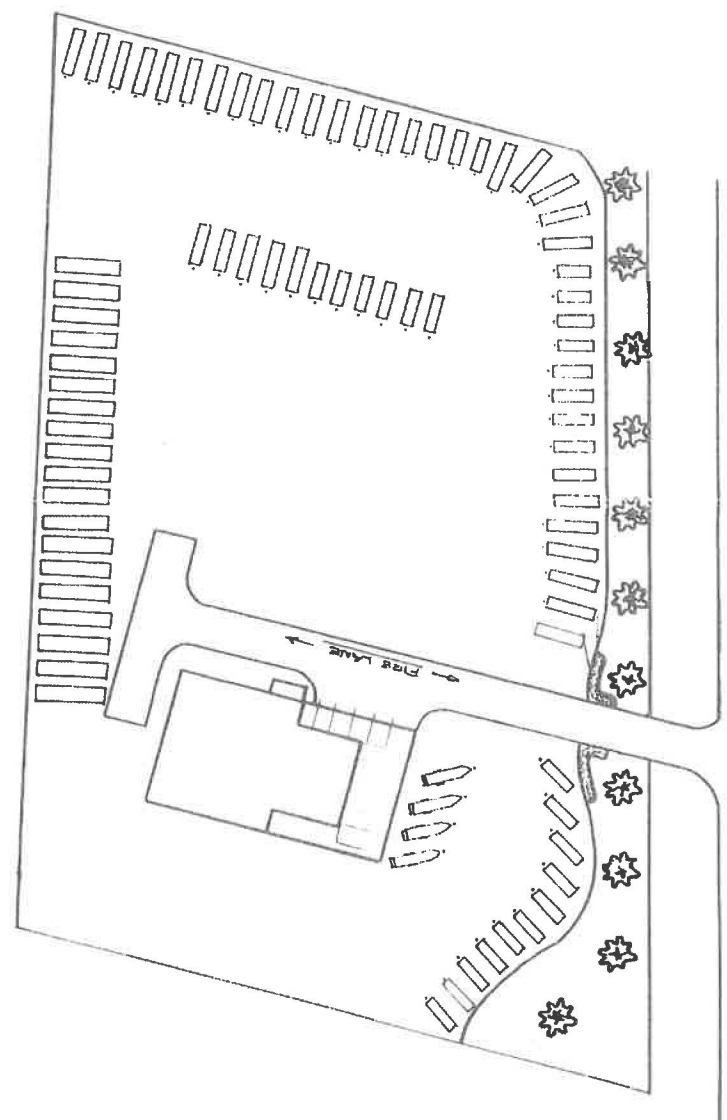


Exhibit 'B'
Concept Plan

| | |
|-------------|--------------------|
| PROJECT NO. | TOWERS 2200 E I-30 |
| DATE | 11/15/22 |
| BY | |
| CHECKED BY | |
| APPROVED BY | |
| DATE | 9/12/27/15/22 |



CHANGES REQUESTED BY THE APPLICANT ARE IN RED
CHANGES SUGGESTED BY STAFF ARE IN BLUE

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW OUTSIDE STORAGE IN A LIGHT INDUSTRIAL (LI) DISTRICT WITHIN THE IH-30 OVERLAY (IH-30 OV) DISTRICT ON A 4.4317-ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 22-01 OF THE R. IRVINE SURVEY, ABSTRACT NO. 120, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Raymond Jowers of Jowers Inc. on behalf of Grant Young of Big Tex Trailers for the approval of a Specific Use Permit (SUP) to allow outside storage on a 4.4317-acre parcel of land being described as Tract 22-01, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2260 E. IH-30 and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and *Ordinance No. 20-01; S-212* of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 20-01*;

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing *Outside Storage* as stipulated by Section 1, *Land Use Schedule*, of Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 05.01, *Industrial Districts*, Subsection 05.02, *Light Industrial (LI) District*, and Subsection 06.06, *IH-30 Overlay (IH-30 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] as heretofore amended and as may be amended in the future, and shall be subject to the following conditions:

3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of outside storage on the *Subject Property* and conformance to these conditions are required for continued operations:

- ~~1) The Specific Use Permit (SUP) shall be valid for a period of three (3) years from the date of the approval of this ordinance. If an extension of the SUP is necessary, the owner shall submit a request in writing to staff no less than 90 days prior to the expiration of the SUP. Upon receipt of the request, the City Council shall review the SUP and determine if an extension of the SUP is permitted based on the development of FM-549 and the IH-30 overpass construction and/or other development activity in the area.~~
- ~~2) City Council approval of the SUP includes a temporary waiver to certain engineering and fire department standards, including but not limited to, concrete paving requirements and the extension of a 12-inch water line from FM-549. Future development of the subject property will be subject to the Engineering and Fire Department standards in effect at the time of development.~~
- 3) That proposed improvements on the *Subject Property* shall generally be in accordance with the *Concept Plan* and *Paving Plan* depicted in *Exhibit 'B'* and *Exhibit 'C'* of this ordinance.
- 4) That proposed landscaping on the *Subject Property* shall generally be in accordance with the *Landscape Plan* depicted in *Exhibit 'D'* of this ordinance.
- 5) If the proposed improvements depicted in *Exhibit 'B'*, *Exhibit 'C'*, and *Exhibit 'D'* are not completed by January 1, 2027 this Specific Use Permit (SUP) shall expire.
- 6) All outside display and outside storage of trailers shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance, which shall be incorporated herein by reference.
- 7) All existing chain link fencing shall be replaced with wrought iron fencing.
- 8) The *Outside Display* and *Outside Storage* of semi-trailers and tractor-trailers shall be prohibited.
- 9) In the event that the development expands the existing structure or adds additional buildings, the development will be subject to meet the requirements for fire protection.

3.2 COMPLIANCE

Approval of this ordinance -- *in accordance with Subsection 2.05, City Council Action, of Article XI, Zoning Related Applications, of the Unified Development Code (UDC)* -- will require compliance to the following:

1) Upon obtaining approval of this Specific Use Permit (SUP), should the property owner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02.D(3) of Article XI, *Zoning Related Applications*, of the Unified Development Code (UDC).

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF MAY, 2026.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 20, 2026

2nd Reading: May 4, 2026

Exhibit 'A'
Zoning Exhibit

Address: 2260 E. IH 30

Legal Description: Tract 22-01 of the R. Irvine Survey, Abstract No. 120

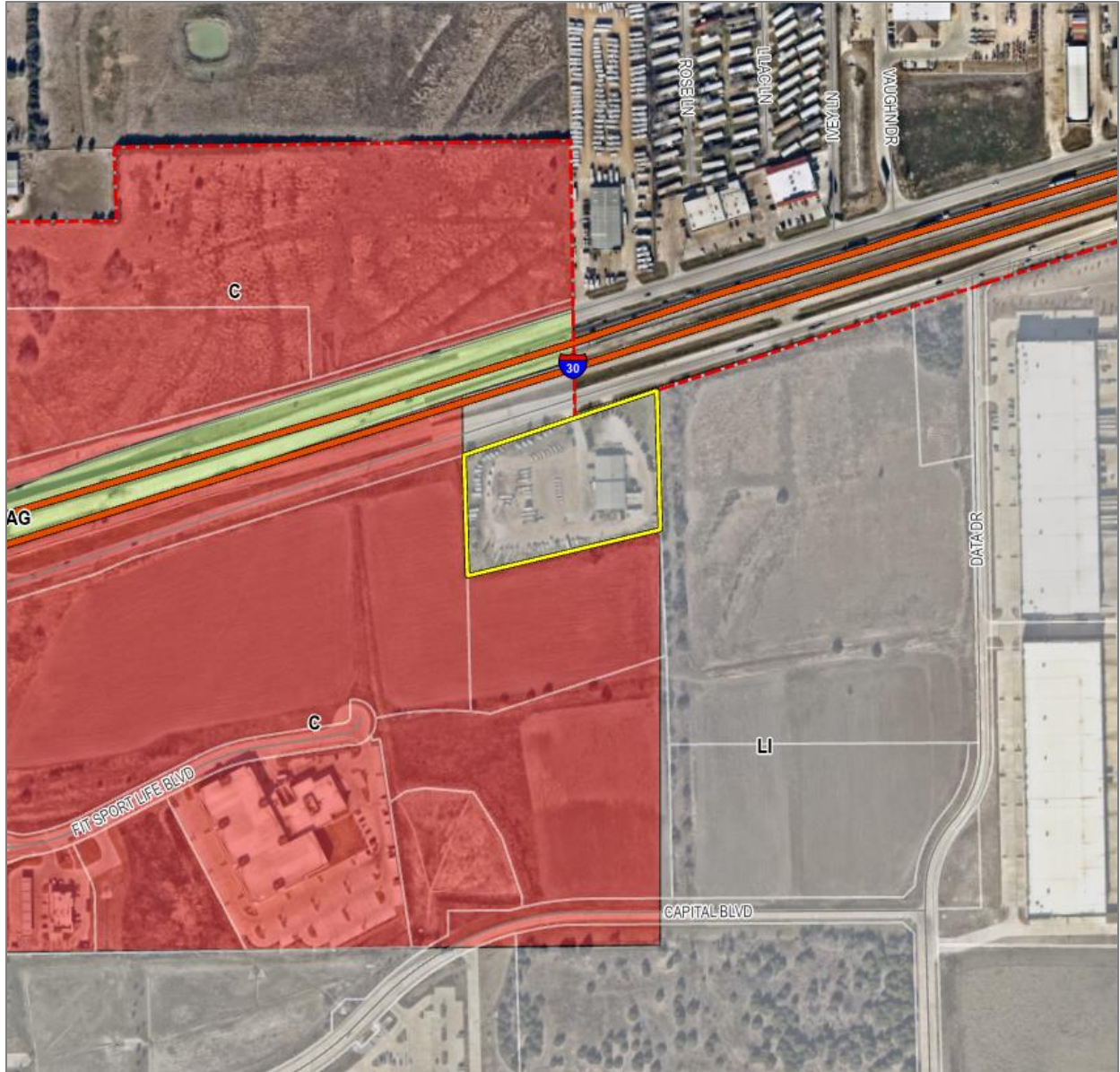


Exhibit 'B' Concept Plan

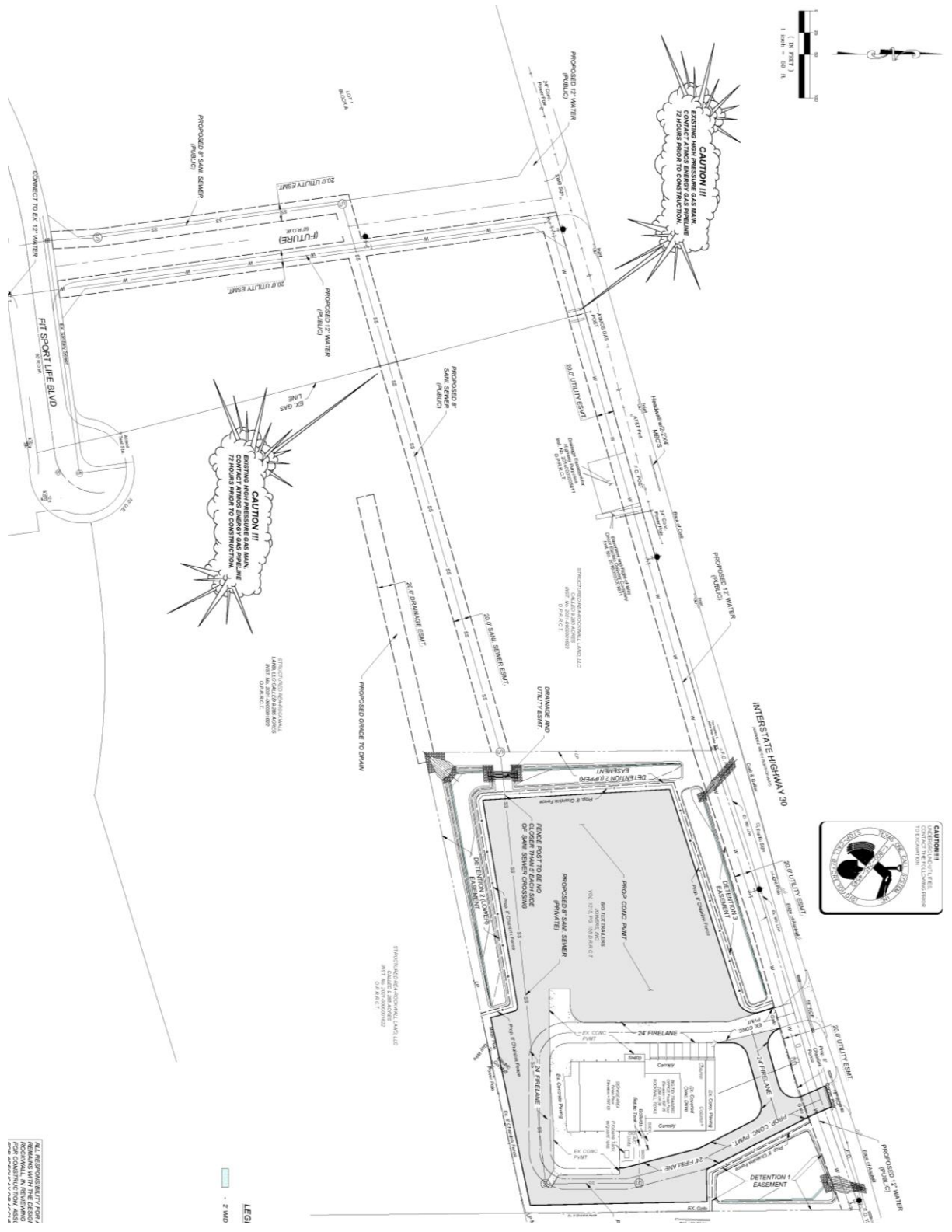
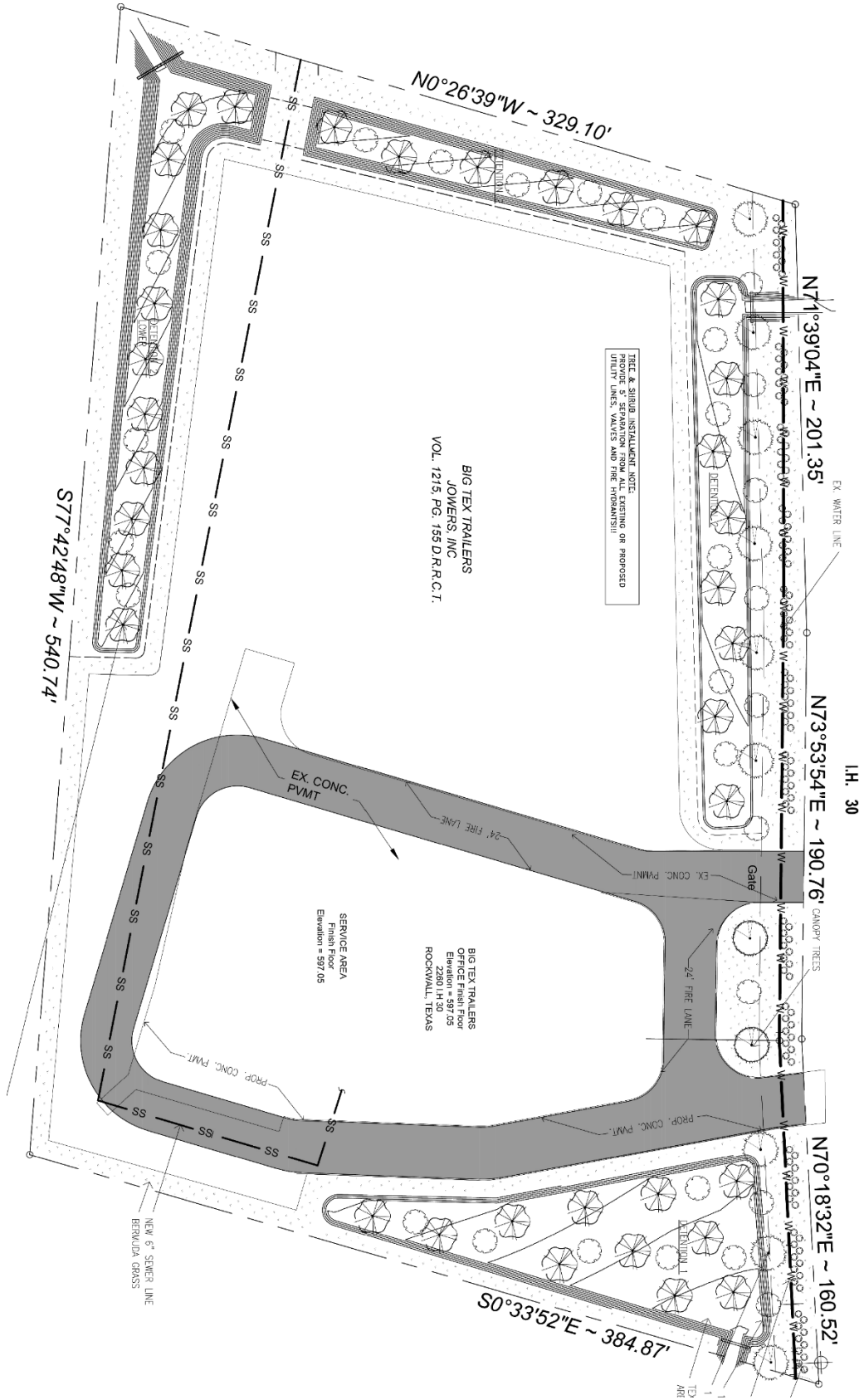


Exhibit 'D'
Landscape Plan



CITY OF ROCKWALL

ORDINANCE NO. 26-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW OUTSIDE STORAGE IN A LIGHT INDUSTRIAL (LI) DISTRICT WITHIN THE IH-30 OVERLAY (IH-30 OV) DISTRICT ON A 4.4317-ACRE PARCEL OF LAND, IDENTIFIED AS TRACT 22-01 OF THE R. IRVINE SURVEY, ABSTRACT NO. 120, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Raymond Jowers of Jowers Inc. on behalf of Grant Young of Big Tex Trailers for the approval of a Specific Use Permit (SUP) to allow outside storage on a 4.4317-acre parcel of land being described as Tract 22-01, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2260 E. IH-30 and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] and *Ordinance No. 20-01; S-212* of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 20-01*;

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing *Outside Storage* as stipulated by Section 1, *Land Use Schedule*, of Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 3. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 05.01, *Industrial Districts*, Subsection 05.02, *Light Industrial (LI) District*, and Subsection 06.06, *IH-30 Overlay (IH-30 OV) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] as heretofore amended and as may be amended in the future, and shall be subject to the following conditions:

3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of outside storage on the *Subject Property* and conformance to these conditions are required for continued operations:

- 1) That proposed improvements on the *Subject Property* shall generally be in accordance with the *Concept Plan* and *Paving Plan* depicted in *Exhibit 'B'* and *Exhibit 'C'* of this ordinance.
- 2) That proposed landscaping on the *Subject Property* shall generally be in accordance with the *Landscape Plan* depicted in *Exhibit 'D'* of this ordinance.
- 3) If the proposed improvements depicted in *Exhibit 'B'*, *Exhibit 'C'*, and *Exhibit 'D'* are not completed by January 1, 2027 this Specific Use Permit (SUP) shall expire.
- 4) All outside display and outside storage of trailers shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance, which shall be incorporated herein by reference.
- 5) All existing chain link fencing shall be replaced with wrought iron fencing.
- 6) The *Outside Display* and *Outside Storage* of semi-trailers and tractor-trailers shall be prohibited.
- 7) In the event that the development expands the existing structure or adds additional buildings, the development will be subject to meet the requirements for fire protection.

3.2 COMPLIANCE

Approval of this ordinance – *in accordance with Subsection 2.05, City Council Action, of Article XI, Zoning Related Applications, of the Unified Development Code (UDC)* -- will require compliance to the following:

- 1) Upon obtaining approval of this Specific Use Permit (SUP), should the property owner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02.D(3) of Article XI, *Zoning Related Applications*, of the Unified Development Code (UDC).

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not

to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF MAY, 2026.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 20, 2026

2nd Reading: May 4, 2026

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Zoning Exhibit

Address: 2260 E. IH 30

Legal Description: Tract 22-01 of the R. Irvine Survey, Abstract No. 120

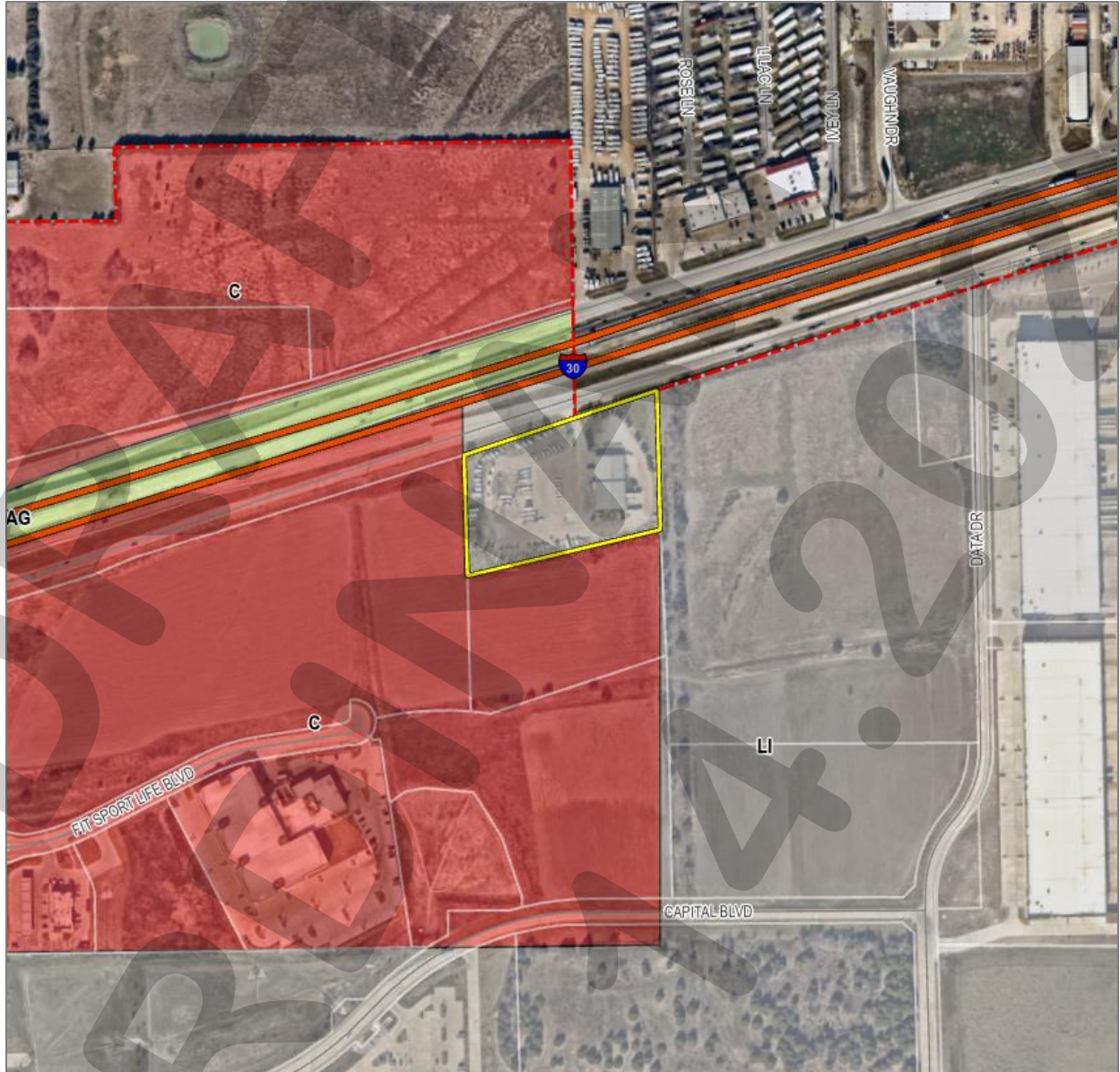


Exhibit 'B'
Concept Plan

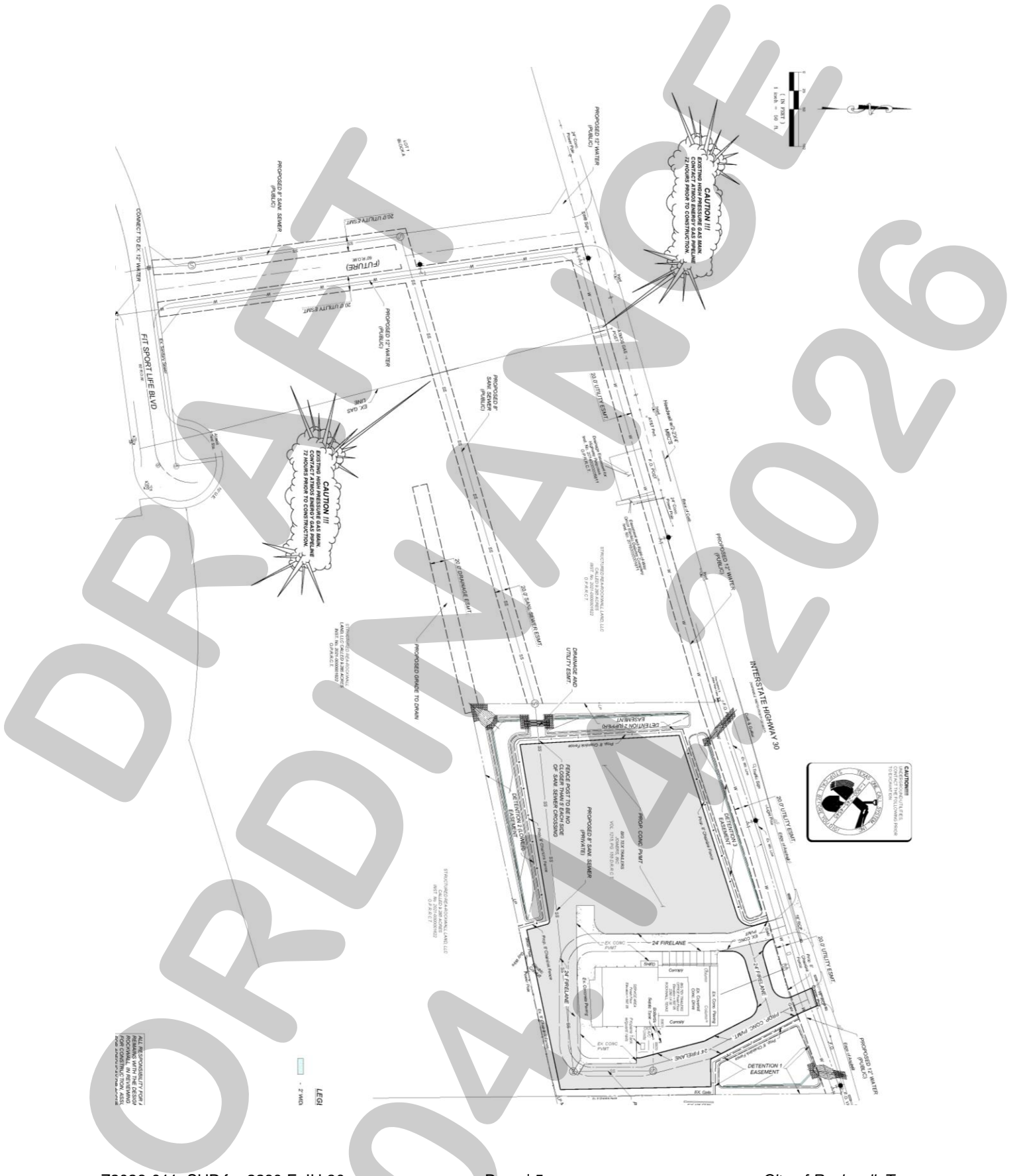


Exhibit 'C'
Paving Plan

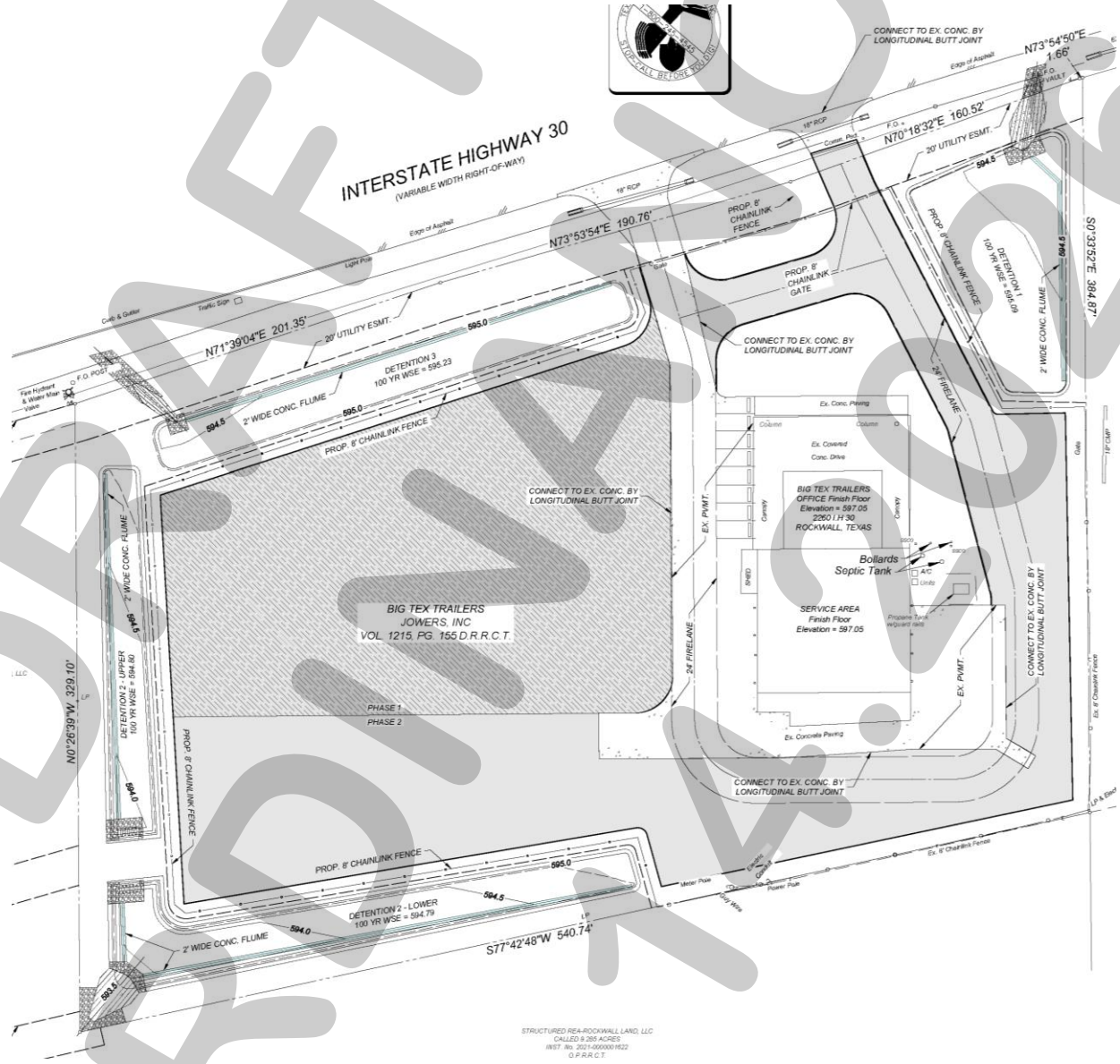
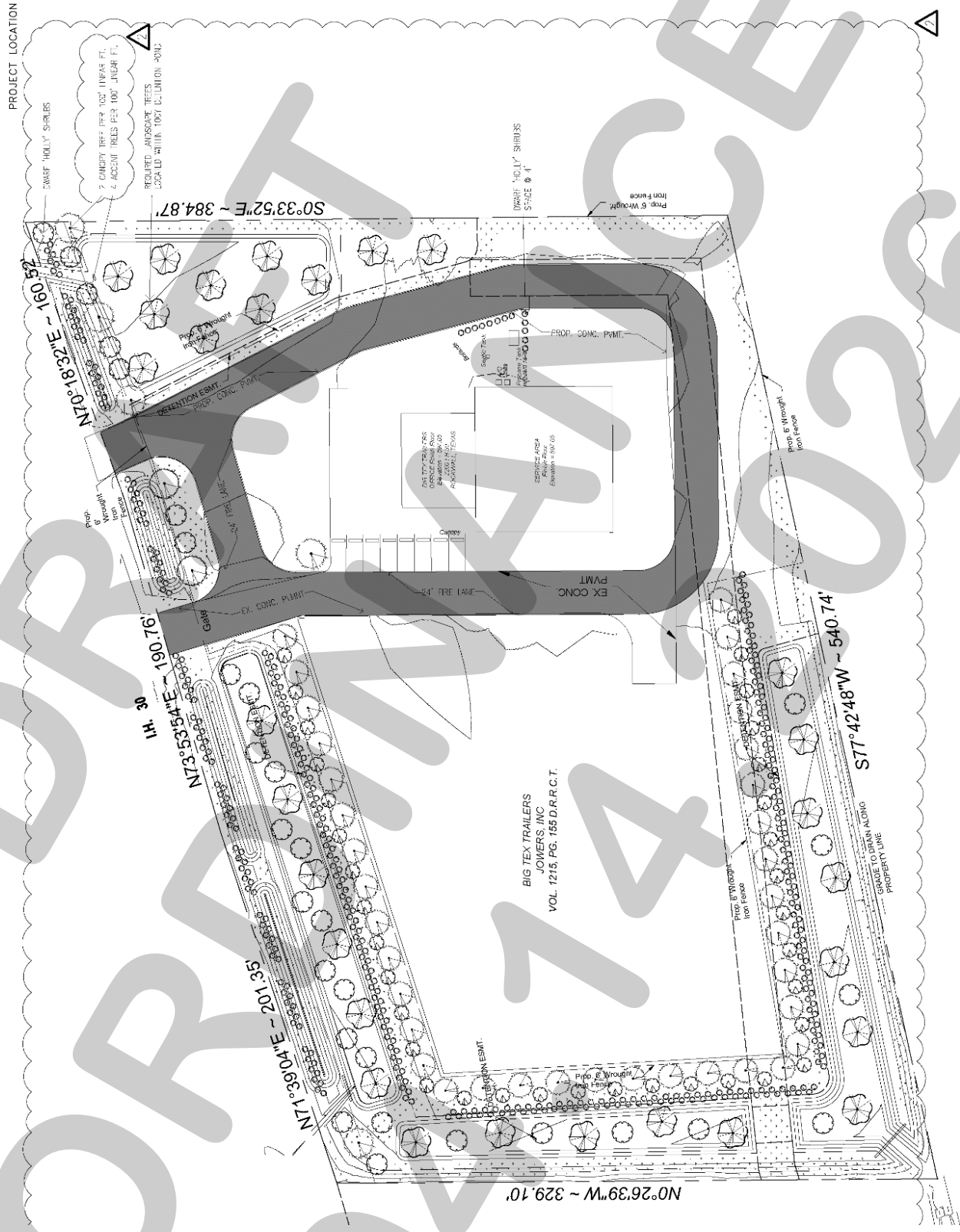


Exhibit 'D'
Landscape Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2026
APPLICANT: Keaton Creekmore; *Sumeer Homes*
SUBJECT: Z2026-013; *Amendment to Planned Development District 76 (PD-76)*

The applicant -- *Keaton Creekmore of Sumeer Homes* -- is requesting to amend Planned Development District 76 (PD-76) for the purpose of allowing side entry garages and other minor changes to the Planned Development District ordinance. Planned Development District 76 (PD-76) -- *also known as the Emerson Farms Subdivision* -- was originally established by the City Council on November 17, 2014 by *Ordinance No. 14-50*. At the time of approval, this Planned Development District allowed 107, one (1) acre single-family residential lots on a 138.79-acre tract of land. Under the current request, the applicant is requesting to make alterations to [1] the garage orientation requirements, [2] the anti-monotony standards, [3] the fencing requirements, and [4] the requirements relating to interior finishes inside the homes. Based on the current Planned Development District 76 (PD-76) (*i.e. Ordinance No. 14-50*), the below language outlines the requirements for these items. Staff has also included applicant's proposed changes and additional changes being proposed by staff.

Requested Ordinance Revision: Garage Orientation; Exhibit 'C', Development Standards, Subsection (3)(c)

(Existing Language) Garage Orientation. Traditional Swing, or J-Swing garages. A second, single garage door facing the street is permitted behind the width of the required double door garage that is accessed from a J-Swing or Traditional Swing configuration.

Based on this language, the lots within the Planned Development District were permitted garage orientations in *J-Swing* or *Traditional Swing* configuration. This was not interpreted to incorporate *Side Entry* garage configurations at the time the ordinance was approved. Recently, the City of Rockwall adopted *Ordinance No. 25-55*, which amended the Unified Development Code (UDC) to define various types of garage orientations. With this language adopted, the applicant has approached staff requesting to amend the Planned Development District to incorporate the *Side Entry* garage configurations. In requesting this change, the applicant has stated that this would provide greater variation in the façades of the homes in the subdivision. Based on this the applicant is proposing the following changes to the Planned Development District ordinance (*with the applicant's proposed changes shown in RED and staff's proposed changes shown in BLUE*):

(Proposed Language) Garage Orientation. Side Entry, Traditional Swing, or J-Swing garages. A second, single garage door facing the street is permitted behind the width of the required double door garage that is accessed from a J-Swing or Traditional Swing configuration. All driveways for Side Entry garages shall be located five (5) feet from the side property line.

Staff included the language requiring the driveway setback requirement for *Side Entry* garages to be five (5) feet from the side property line in order to provide an overhang for vehicles when backing out of the garages. This allows vehicles to backout without crossing onto the adjacent property. In addition, this maintains the drainage swales, which typically run parallel to the side property lines in this area.

Requested Ordinance Revision: Anti-Monotony Standards; Exhibit 'C', Development Standards, Subsection (4)

(Existing Language) Anti-Monotony Restrictions.

- (2) *Identical brick blends or paint colors may not occur on adjacent (side -by -side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.*

- (3) *Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and two (2) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on Dowell Road shall not repeat without at least two (2) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following two (2) items deviate: a) Number of Stories, b) Garage Location, c) Roof Type and Layout, d) Articulation of the Front Façade.*

The applicant has indicated that they are willing to increase the anti-monotony standards to the current requirements of the Unified Development Code (UDC), outlined in Subsection 03.01(D), *General Residential District Standards*, of Article 05, *District Development Standards*. This change reduced the number of repeating front elevations and material blends on each side of the street adjacent to a home. In addition, it increases the number of required elements that must deviate between the homes. Based on this the applicant is proposing the following changes to the Planned Development District ordinance (*with the applicant's proposed changes shown in RED and staff's proposed changes shown in BLUE*):

(Proposed Language) Anti-Monotony Restrictions.

- (2) *Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.*
- (3) *Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on Dowell Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate: (a) Number of Stories, (b) Garage Location, (c) Roof Type and Layout, (d) Articulation of the Front Façade.*

Requested Ordinance Revision: Fencing Standards; Exhibit 'C', Development Standards, Subsection (5)

(Existing Language) Fence Orientation.

- (a) *Solid Residential Fencing. All solid residential fencing shall be cedar standard fencing material (minimum 1/2" thickness) or better (spruce fencing is not allowed). All cedar pickets shall be placed on the public side facing the street or neighboring property.*
- (b) *Wrought-Iron/Tubular Steel Fencing. Lots located along perimeter roadways (i.e. Dowell Road and Streets 'E' & 'A') and abutting open spaces, greenbelts and /or parks shall be required to install tubular steel fencing.*
- (c) *Common Area Fencing. All common areas and perimeter fencing shall be maintained by a Homeowners Association (HOA) as specified by the Subdivision Regulations contained in Chapter 38 of the City's Municipal Code of Ordinances. Common area fencing shall be constructed of tubular steel and not exceed four (4) feet in height.*

In order to create a consistent design within Planned Development District 76 (PD-76), the applicant is requesting to have *Wrought-Iron/Tubular Steel Fencing* be the only permitted fencing type within the subdivision. Based on this the applicant is proposing the following changes to the Planned Development District ordinance (*with the applicant's changes shown in RED and staff's proposed changes shown in BLUE*):

(Proposed Language) Fence Orientation.

- (a) *Wrought-Iron/Tubular Steel Fencing. All fencing shall be six (6) foot wrought iron/tubular steel fencing. All residential lots shall be required to install six (6) foot wrought iron/tubular steel fencing at the time of construction.*
- (b) *Common Area Fencing. All common areas and perimeter fencing shall be maintained by a Homeowner's Association (HOA) as specified by the Subdivision Regulations contained in Chapter 38 of the City's Municipal Code of Ordinances. Common area fencing shall be constructed of wrought iron/tubular steel and shall be six (6) feet in height.*

Requested Ordinance Revision: Crown Molding; Exhibit 'C', Development Standards, Subsection (4)

(Existing Language) Crown Molding.

- (4) *Crown molding will be installed in all living and family rooms, unless vaulted or pop-up ceilings are utilized. No Formica countertops may be installed in kitchens and /or bathrooms, and vinyl flooring and blown acoustic ceilings are prohibited.*

Based on this language all living rooms and/or family rooms are required to have crown molding, with the exception of vaulted or pop-up ceilings. In addition, this prohibits the use of Formica countertops, vinyl flooring, or blown acoustic ceilings. The applicant has indicated that the market has changed since the original adoption of the Planned Development District Ordinance, and these are considered outdated design elements for new single-family homes. Given this the applicant is proposing to remove this language from the ordinance.

In addition to the changes the applicant has proposed, staff has included two (2) additional changes to the draft ordinance. The existing Planned Development District has a *Minimum Area/Dwelling Unit (SF)* of 2,600 SF. Staff has proposed increasing this by 400 SF to 3,000 SF. Also, the existing ordinance requires two (2) off-street parking standards. Staff has included a *General Note* that a minimum of a two (2) car garage is required for each home. If the City Council, pending a recommendation from the Planning and Zoning Commission, approves the proposed draft ordinance it will include the changes proposed by staff.

The proposed draft ordinance includes the proposed changes by the applicant -- *in addition to the recommendations by staff* -- , which brings the proposed draft ordinance closer into conformance with the current requirements of the Unified Development Code (UDC). In addition, the proposed changes are more consistent with other recently approved Planned Development Districts. Since this is a request to amend the zoning for Planned Development District 76 (PD-76), this is discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. In accordance with the requirements of the Unified Development Code (UDC) and State law, staff notified all properties within Planned Development District 76 (PD-76) and within 500-feet of its boundary. These notices were sent out on March 17, 2026, and included 104 notices. As of this memorandum, staff has not received any notices with regard to the applicant's request. If the Planning and Zoning Commission have any questions concerning this case, staff and the applicant will be available at the April 14, 2026 Planning and Zoning Commission meeting.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS _____

SUBDIVISION

Emerson Farms Community

LOT

ALL

BLOCK

ALL

GENERAL LOCATION

Single Family Community on East Side of Dawell Rd. South of 276

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

(SF-1) - PD-76

CURRENT USE

Single Family Residential (SF-1)

PROPOSED ZONING

PROPOSED USE

Single Family Residential

ACREAGE

145.102

LOTS [CURRENT]

108

LOTS [PROPOSED]

108

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT (ORIGINAL SIGNATURES ARE REQUIRED)]

OWNER

APPLICANT

CONTACT PERSON

Suresh Sridharani

CONTACT PERSON

Kenton Creekmore

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, *Suresh Sridharani* [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

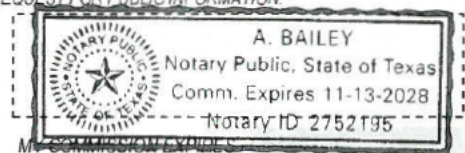
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ *2376.53* TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE *13th* DAY OF *March*, 20*26* BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

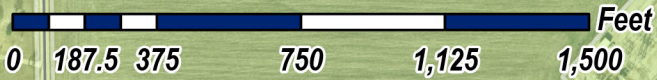
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE *13th* DAY OF *March*, 20*26*

OWNER'S SIGNATURE

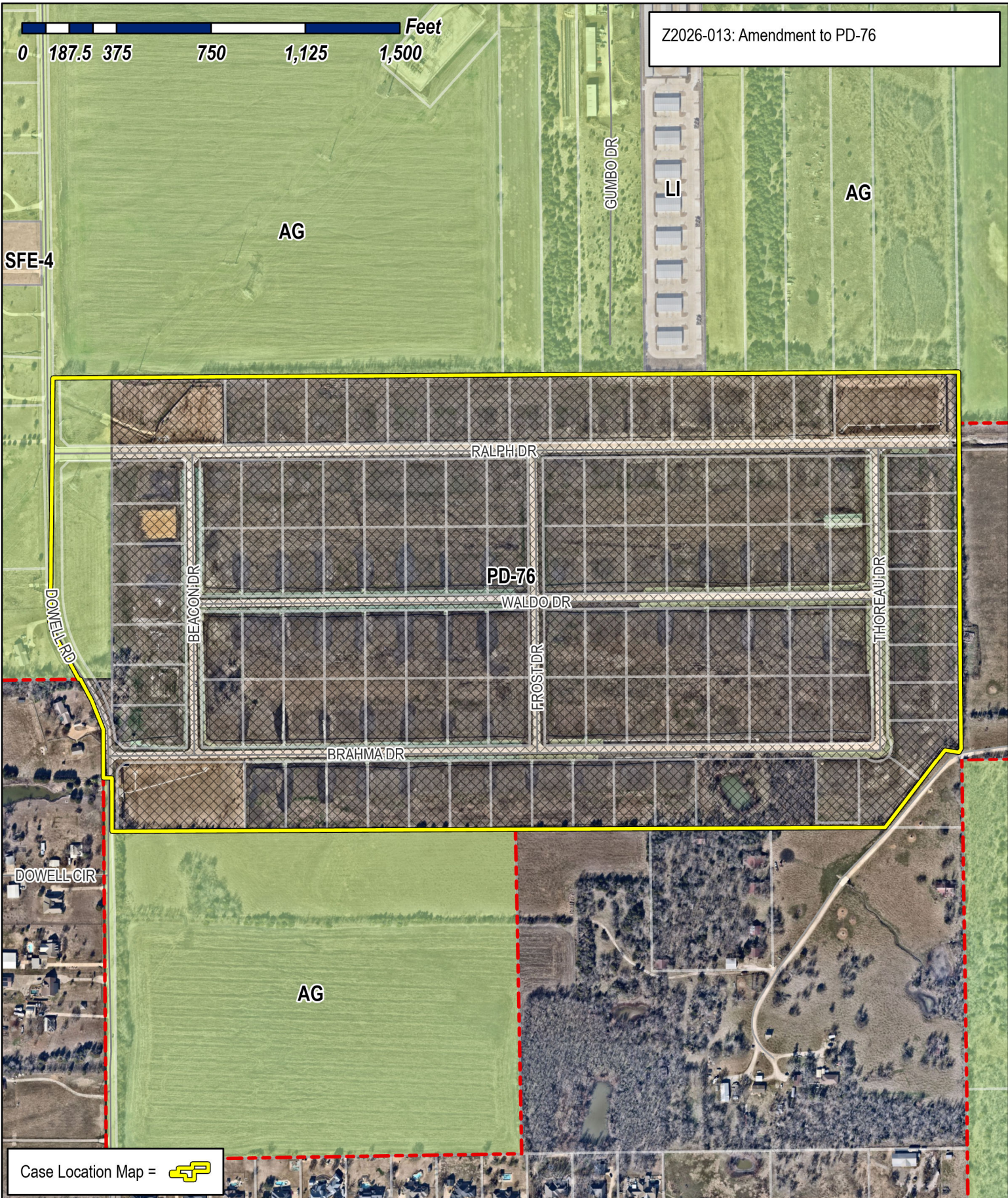
[Signature]


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Z2026-013: Amendment to PD-76



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

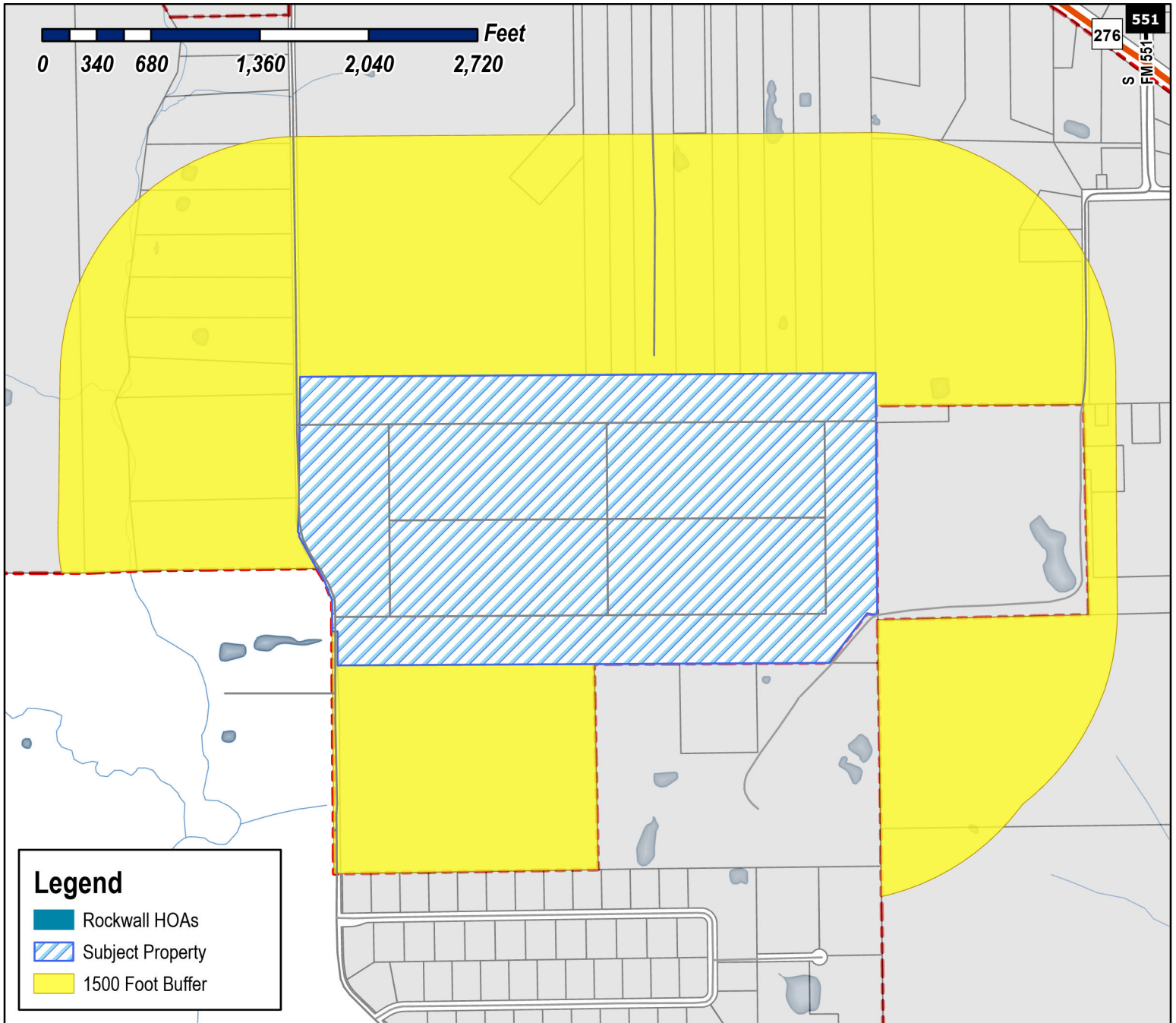




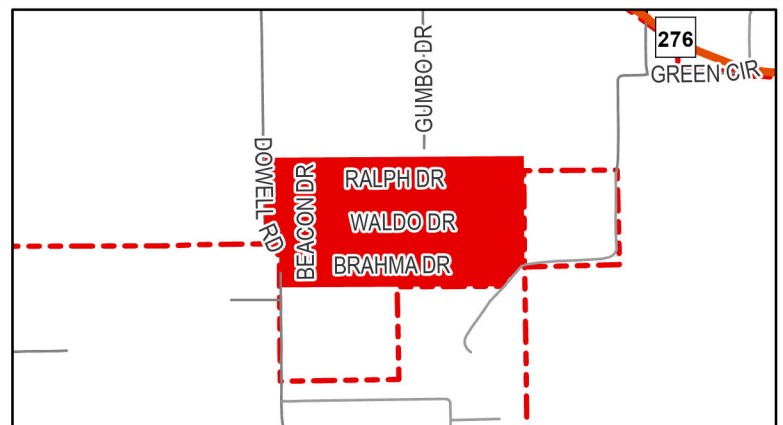
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Case Number: Z2026-013
Case Name: Amendment to PD-76
Case Type: Zoning
Zoning: Planned Development District 76 (PD-76)
Case Address: Dowell Rd



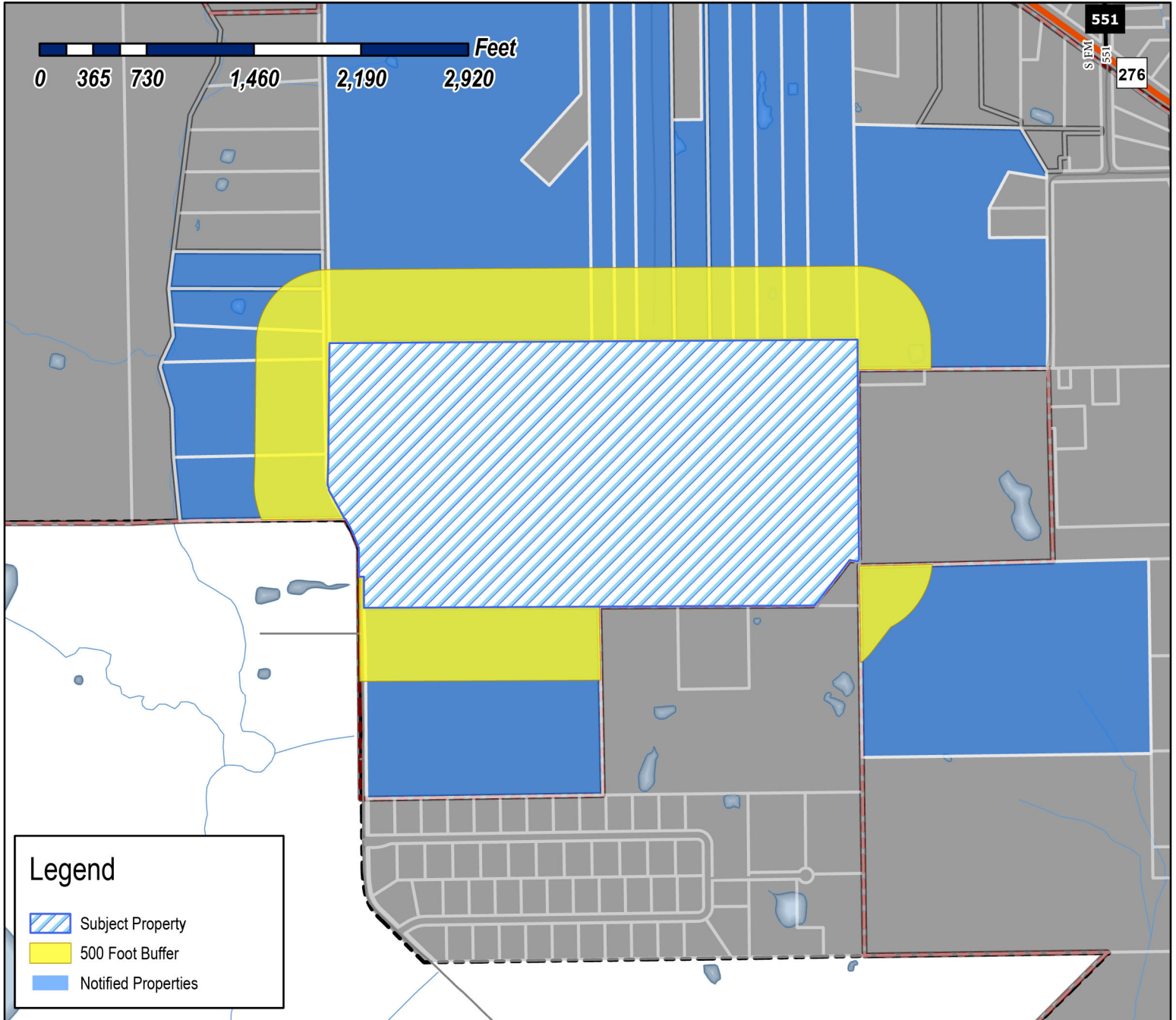
Date Saved: 3/13/2026
 For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

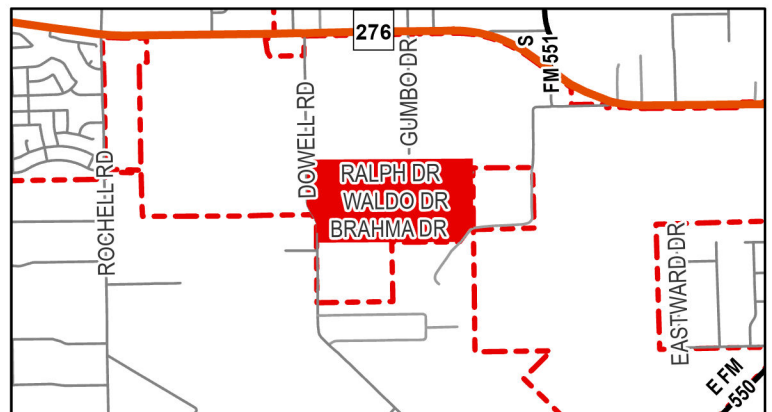
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Case Name: Amendment to PD-76
Case Type: Zoning
Zoning: Planned Development District 76 (PD-76)
Case Address: Dowell Rd

Date Saved: 3/13/2026

For Questions on this Case Call: (972) 771-7745



LAZO 2024 REVOCABLE TRUST
AUGUSTIN SANTOYO - TRUSTEE
101 E PARK BLVD STE 413
PLANO, TX 75074

COMMERCIAL CONSTRUCTION SPECIALTIES LP
10961 LAKESIDE DRIVE
QUINLAN, TX 75474

RESIDENT
114 GUMBO
ROCKWALL, TX 75087

ZOLLNER BROOKS FAMILY LP
1287 ZOLLNER RD
ROYSE CITY, TX 75189

ZOLLNER BROOKS FAMILY LP
1287 ZOLLNER RD
ROYSE CITY, TX 75189

VALK PROPERTIES VII LLC
1450 T L Townsend Dr Ste A1
Rockwall, TX 75032

JOHNSON JAY LYNN
2018 SUNNY CIR
ROCKWALL, TX 75032

RESIDENT
2300 DOWELL RD
ROCKWALL, TX 75087

SUMEER HOMES INC
2404 Texas Dr Ste 103
Irving, TX 75062

MCAULEY CHRISTOPHER
254 ZOLLNER RD
ROYSE CITY, TX 75189

TOMAINO PROPERTIES LP
2626 Cole Ave Ste 606
Dallas, TX 75204

RESIDENT
3000 BEACON DR
ROCKWALL, TX 75087

RESIDENT
3001 THOREAU DR
ROCKWALL, TX 75087

RESIDENT
3012 BEACON DR
ROCKWALL, TX 75087

RESIDENT
3013 THOREAU DR
ROCKWALL, TX 75087

RESIDENT
3024 BEACON DR
ROCKWALL, TX 75087

RESIDENT
3025 THOREAU DR
ROCKWALL, TX 75087

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3036 BEACON DR
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3037 THOREAU DR
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3103 THOREAU DR
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3114 BEACON DR
ROCKWALL, TX 75087

RESIDENT
3115 THOREAU DR
ROCKWALL, TX 75087

RESIDENT
3126 BEACON DR
ROCKWALL, TX 75087

RESIDENT
3127 THOREAU DR
ROCKWALL, TX 75087

RESIDENT
3139 THOREAU DR
ROCKWALL, TX 75087

RESIDENT
3290 HWY276
ROCKWALL, TX 75087

RESIDENT
4351 BRAHMA DR
ROCKWALL, TX 75087

RESIDENT
4380 RALPH DR
ROCKWALL, TX 75087

RESIDENT
4400 BRAHMA DR
ROCKWALL, TX 75087

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4501 BRAHMA DR
ROCKWALL, TX 75087

RESIDENT
4502 BRAHMA DR
ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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4517 WALDO DR
ROCKWALL, TX 75087

RESIDENT
4518 RALPH DR
ROCKWALL, TX 75087

BOBALIK STEVE A
4521 STATE HIGHWAY 276
ROCKWALL, TX 75032

RESIDENT
4525 BRAHMA DR
ROCKWALL, TX 75087

RESIDENT
4526 BRAHMA DR
ROCKWALL, TX 75087

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ROCKWALL, TX 75087

RESIDENT
4565 WALDO DR
ROCKWALL, TX 75087

RESIDENT
4566 RALPH DR
ROCKWALL, TX 75087

HAWKINS RONALD & JENIREE
4571 State Highway 276
Rockwall, TX 75032

RESIDENT
4574 BRAHMA DR
ROCKWALL, TX 75087

RESIDENT
4575 RALPH DR
ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

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ROCKWALL, TX 75087

RESIDENT
4597 BRAHMA DR
ROCKWALL, TX 75087

RESIDENT
4610 RALPH DR
ROCKWALL, TX 75087

RESIDENT
4649 HWY276
ROCKWALL, TX 75087

ROMO DIANE
4695 STATE HIGHWAY 276
ROCKWALL, TX 75032

SHERRY ZACHARY REVOCABLE LIVING TRUST
SHERRY ZACHARY- TRUSTEE
4783 STATE HIGHWAY 276
ROYSE CITY, TX 75189

GSS HOTELS LLC
4827 STATE HWY 276
ROCKWALL, TX 75189

GARDNER PETER AND JANYCE
548 DOWELL RD
ROCKWALL, TX 75032

QUINONEZ OSCAR
598 DOWELL RD
ROCKWALL, TX 75032

TRENTACOSTA AARON L & NIKOLE L
648 DOWELL ROAD
ROCKWALL, TX 75032

OVALLE JUAN FRANCISCO
842 DOWELL RD
EMORY, TX 75440

SORRELLS ROBERT
8731 REXFORD DR
DALLAS, TX 75209

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2026-013: Amendment to PD-76

Hold a public hearing to discuss and consider a request by Kenton Creekmore of Sumeer Homes on behalf of Suresh Shridharani for the approval of a Zoning Change amending the Development Standards contained in Planned Development District 76 (PD-76) [Ordinance No. 14-50] for the Emerson Farms Subdivision being a 138.79-acre tract of land situated within the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 76 (PD-76) for Single-Family 1 (SF-1) District land uses, generally located on the east side of Dowell Road south of the intersection of SH-276 and Dowell Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 14, 2026 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2026-013: Amendment to PD-76

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

* Notes in Reel *

CITY OF ROCKWALL

ORDINANCE NO. 14-50

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING FROM AN ~~AGRICULTURAL (AG) DISTRICT~~ TO PLANNED DEVELOPMENT DISTRICT 76 (PD-76) FOR SINGLE FAMILY 1 (SF-1) DISTRICT LAND USES ON THE SUBJECT PROPERTY, BEING A 138.79-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1 OF THE J. LOCKHART SURVEY, ABSTRACT NO. 137, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Dub Douphrate of Douphrate & Associates, Inc. on behalf of Barry Luff of L2 Properties, LLC for an amendment to the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall for the purpose of changing the zoning from an Agricultural (AG) District to Planned Development District 76 (PD-76) for Single Family 1 (SF-1) District land uses, for a 138.79-acre tract of land identified as Tract 1 of the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas and more fully described in Exhibit 'A' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [Ordinance No. 04-38], as heretofore amended, shall be further amended by amending the zoning map of the City of Rockwall so as to change the zoning district classification for the *Subject Property* from an Agricultural (AG) District to Planned Development District 76 (PD-76) for Single Family 1 (SF-1) District land uses.

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That the *Subject Property* shall be developed and/or used only in the manner and for the purposes described within this ordinance, and unless specifically modified within this ordinance the *Subject Property* shall adhere to all development standards stipulated by the Single Family 1

(SF-1) District as specified in Section 3.2-1, *Single-Family One (SF-1) District*, of Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38] as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *Planned Development Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 8. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (1) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the *City* concurrently with a *Preliminary Plat Application* for the development.
- (2) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the *City* concurrently with a *PD Site Plan Application* for the development.
- (3) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

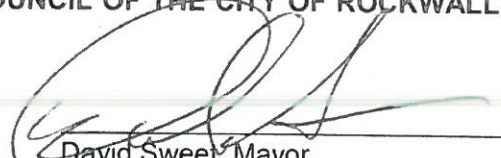
SECTION 9. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 10. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

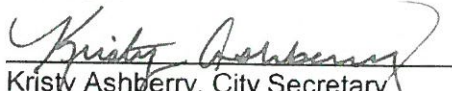
SECTION 11. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 12. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

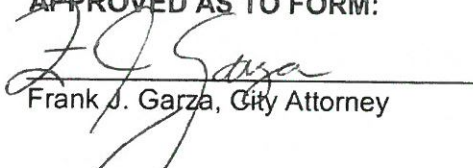
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 17TH DAY OF NOVEMBER, 2014.


David Sweet, Mayor

ATTEST:


Kristy Ashberry, City Secretary

APPROVED AS TO FORM:


Frank J. Garza, City Attorney



1st Reading: 11/03/2014

2nd Reading: 11/17/2014

Exhibit 'A':
Legal Description

Legal Description of 138.79-Acre Tract

Located in the John Lockhart Survey, Abstract 137, and the Newell Survey, Abstract No. 167, Rockwall, Texas

All that certain lot, tract or parcel of land situated in the JOHN LOCKHART SURVEY, ABSTRACT NO. 137 and H. K. NEWELL SURVEY, ABSTRACT NO. 167, Rockwall County, Texas, and being all of that 138.781 acres tract of land as described in a Warranty deed from Farm Credit Bank of Texas to Allen Anderson and wife, Loretta Anderson, dated November 27, 1991 and being recorded in Volume 657, Page 303 of the Real Property Records of Rockwall County, Texas, and the same tract as conveyed to L2 Properties, LLC by Deed recorded in Volume 4096, Page 237 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 112" iron rod found for corner at the base of a fence corner post at the Northeast corner of the above cited tract of land;

THENCE S. 00 deg. 19 min. sec. E. along the fenced East line of said tract, a distance of 1207.96 feet to a 112" iron rod found for corner;

THENCE S. 00 deg. 37 min. 17 sec. E. along the fenced East line of said tract, a distance of 286.47 feet to a 1/2" iron rod found for corner at the base of a fence corner post;

THENCE S. 31 deg. 44 min. 42 sec. W. along the fenced East line of said tract, a distance of 16.52 feet to a 112" iron rod found for corner at the base of a fence corner post;

THENCE N. 80 deg. 40 min. 29 sec. W. along the fenced boundary line of said tract, a distance of 55.86 feet to a 1/2" iron rod found for corner at the base of a fence corner post;

THENCE S. 37 deg. 34 min. 16 sec. W. along the fenced boundary line of said tract, a distance of 390.25 feet to a 112" iron rod found for corner at the base of a fence corner post at the Southeast corner of said tract and being at the Southwest corner of a 1.275 acres tract as described in a Deed to Paul Liechty, et al as recorded in Volume 240, Page 546 of the Real Property Records of Rockwall County, Texas;

THENCE S. 89 deg. 42 min. 38 sec. W. (Controlling bearing line) along the South line of said 138.781 acres tract, a distance of 3070.62 feet to a 112" iron rod found for corner in the East edge of Dowell Road;

THENCE N. 00 deg. 03 min. 28 sec. W. along the East edge of Dowell Road, a distance of 211.73 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 89 deg. 29 min. 31 sec. W. crossing said Dowell Road, a distance of 34.26 feet to a 112" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West margin of said road;

THENCE N. 00 deg. 04 min. 32 sec. W. along the West margin of said road, a distance of 194.53 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 21 deg. 45 min. 35 sec. W. along the West margin of said road, a distance of 123.31 feet to a 112" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

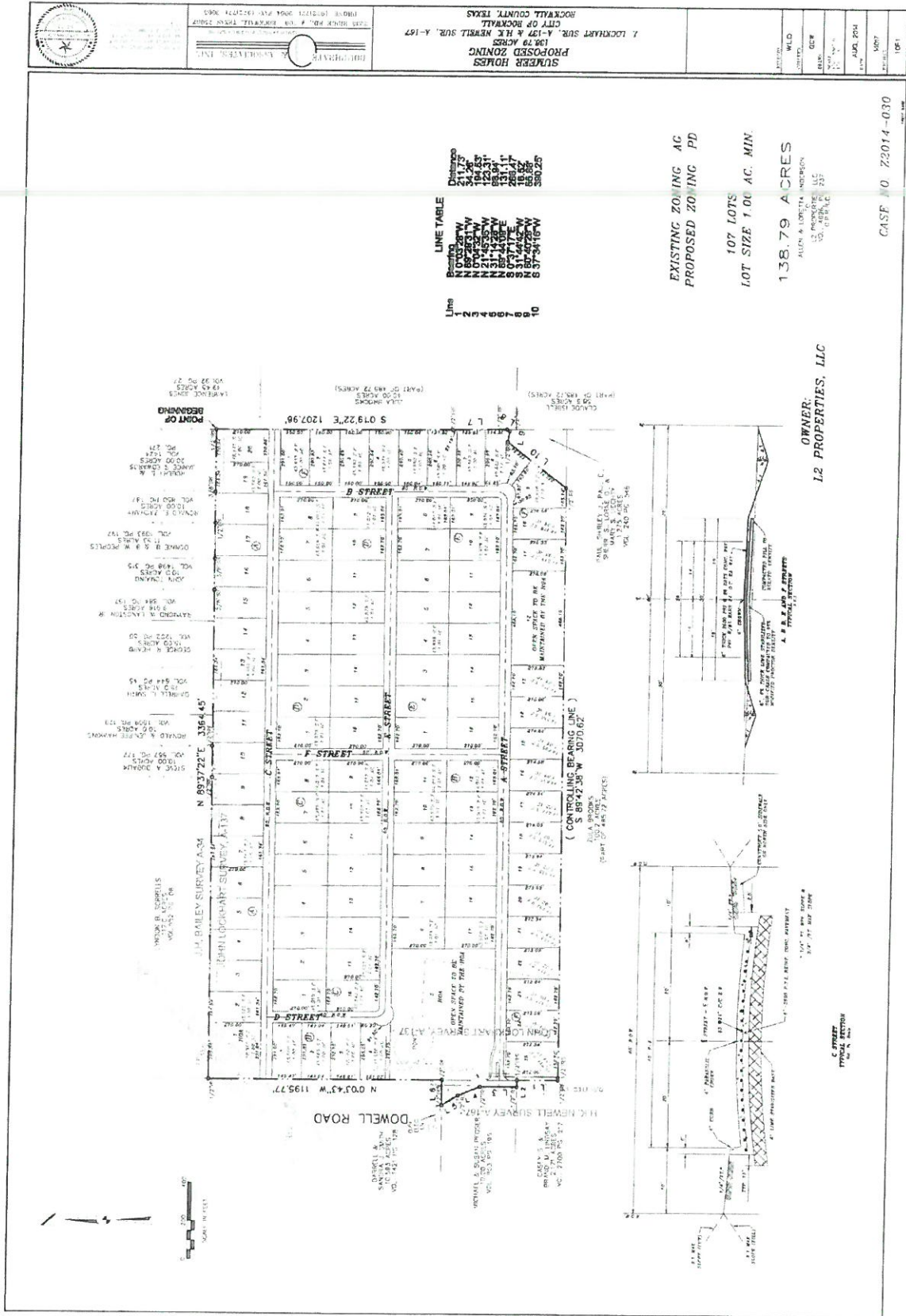
THENCE N. 31 deg. 14 min. 48 sec. W. along the West margin of said road, a distance of 98.94 feet to a 112" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 89 deg. 44 min. 09 sec. E. crossing said Dowell Road, a distance of 131.11 feet to a 112" iron rod found for corner;

THENCE N. 00 deg. 03 min. 43 sec. W. a distance of 1195.77 feet to a 112" iron rod found for corner at the Northwest corner of said 138.781 acres tract;

THENCE N. 89 deg. 37 min. 22 sec. E. along the North line of said tract, a distance of 3364.45 feet to the POINT OF BEGINNING and containing 138.79 acres of land.

Exhibit 'B': Concept Plan



**Exhibit 'C':
Development Standards**

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Density and Dimensional Requirements.* The maximum permissible density for the *Subject Property* shall not exceed one (1) dwelling unit per gross acre of land; however, in no case should the proposed development exceed 107 units. All lots shall conform to the standards depicted in *Table 1* below unless specifically provided for in *Table 2* below.

Table 1: Lot Dimensional Requirements

| | |
|---|-----------|
| Minimum Lot Width ⁽¹⁾ | 150' |
| Minimum Lot Depth | 250' |
| Minimum Lot Area | 43,560 SF |
| Minimum Front Yard Setback ⁽²⁾ | 40' |
| Minimum Side Yard Setback | 25' |
| Minimum Side Yard Setback (Adjacent to a Street) | 25' |
| Minimum Length of Driveway Pavement (Rear and Side Yard Only) | 25' |
| Maximum Height ⁽³⁾ | 36' |
| Minimum Rear Yard Setback ⁽⁴⁾ | 25' |
| Minimum Area/Dwelling Unit (SF) ⁽⁵⁾ | 2,600 SF |
| Maximum Lot Coverage | 45% |
| Minimum Number of Paved Off-Street Parking Spaces | 2 Spaces |
| Minimum Distance Between Buildings | 10' |

General Notes:

- ¹: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- ²: The location of the *Front Yard Building Setback* as measured from the front property line.
- ³: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single family home.
- ⁴: As measured from the rear yard property line.
- ⁵: The minimum area/dwelling unit only includes air conditioned square space.

Table 2: Lot Exceptions

| <i>Lot/Block Number</i> | <i>Width</i> | <i>Depth</i> | <i>Lot Area</i> |
|-------------------------|--------------|--------------|-----------------|
| <i>Lot 1, Block B</i> | 149.47' | 291' | 43,560 SF |
| <i>Lot 2, Block B</i> | 149.04' | 291.85' | 43,560 SF |
| <i>Lot 3, Block B</i> | 148.61' | 292.70' | 43,560 SF |
| <i>Lot 16, Block C</i> | 142.70' | 250' | 43,560 SF |
| <i>Lot 7, Block F</i> | 149.92' | 290.23' | 43,560 SF |
| <i>Lot 9, Block E</i> | 143.01' | 250' | 43,926 SF |

Note. All lots are as depicted in Exhibit 'B' of this ordinance. Changes to the dimensions of these lots can be administratively approved by the Director of Planning or his/her designee, but at no point should the lot area be less than 43,560 SF.

3. *Building Standards.* All development shall adhere to the following building standards:
 - (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement shall be limited to full width brick, natural stone, cast stone, cementaceous fiberboard

Exhibit 'C':
Development Standards

horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*), and stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff). Cementaceous products (e.g. *HardiBoard*, *Hardy Plank*, *Stucco*, etcetera) shall be limited to 50% of the masonry requirement.

(b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.

or side entry
(c) *Garage Orientation*. Garages shall be accessed from a traditional 'J'-Swing or Swing type driveway arrangement. A second, single garage door facing the street is permitted behind the width of the required double door garage that is accessed from a traditional 'J'-Swing or Swing configuration.

K.L.

4. *Anti-Monotony Restrictions*. The development shall adhere to the following *Anti-Monotony* restrictions (for spacing requirements see the illustration below):

(1) Exterior wall materials must comply with the *Masonry Requirements* listed in Section 3.(a). Additionally, all chimneys are required to utilize masonry materials.

(2) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least four (4) intervening homes of differing materials on the same side of the street beginning with the adjacent property and two (2) intervening homes of differing materials on the opposite side of the street.

(3) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and ~~two (2)~~ *Six (6)* intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on Dowell Road shall not repeat without at least two (2) intervening homes of differing appearance. Homes are consider to have a differing appearance if any of the following two (2) items deviate: *K.L.*

(a) Number of Stories

(b) Garage Location

(c) Roof Type and Layout

(d) Articulation of the Front Façade

K.L.

(4) ~~Crown molding will be installed in all living and family rooms, unless vaulted or pop-up ceilings are utilized.~~ No *Formica* countertops maybe installed in kitchens and/or bathrooms, and vinyl flooring and blown acoustic ceilings are prohibited.

(5) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles* are prohibited).

See the Illustrations on the following page.

Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.

Exhibit 'C':
Development Standards

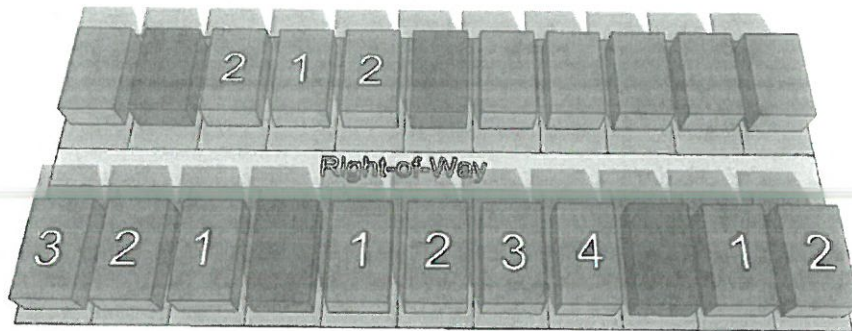
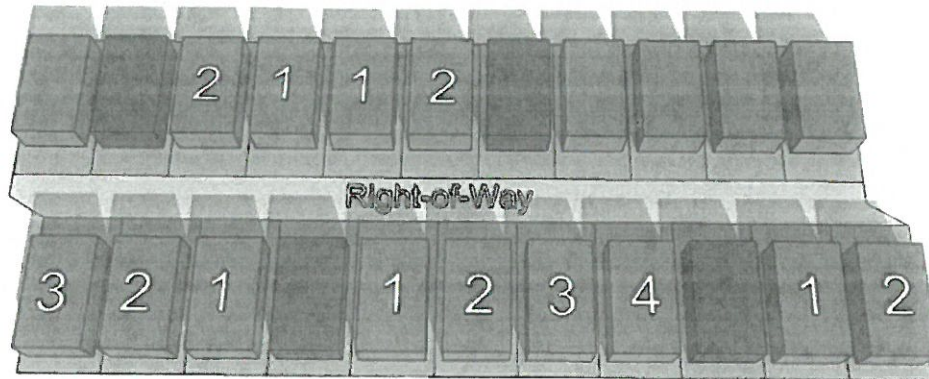


Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.



5. **Fencing Standards.** Fences are not mandatory for any lot within this subdivision; however, if a property owner chooses to construct a fence it will need to adhere to the following standards:

(a) ~~Solid Residential Fencing.~~ All solid residential fencing shall be cedar standard fencing material (minimum 1/2" thickness) or better (spruce fencing is not allowed). All cedar pickets shall be placed on the public side facing the street or neighboring property.

(b) ~~Wrought-Iron/Tubular Steel Fencing.~~ Lots located along perimeter roadways (i.e. Dowell Road and Streets 'E' & 'A') and abutting open spaces, greenbelts and/or parks shall be required to install tubular steel fencing.

(c) ~~Common Area Fencing.~~ All common areas and perimeter fencing shall be maintained by a Homeowners Association (HOA) as specified by the Subdivision Regulations contained in Chapter 38 of the City's Municipal Code of Ordinances. Common area fencing shall be constructed of tubular steel and not exceed four (4) feet in height.

All lots to have Wrought Iron Fences Installed
K.C.

6. **Landscaping.** At the time of final inspection, all single-family lots shall be landscaped with large canopy trees as follows:

(a) Two (2) minimum three (3) inch caliper trees, as measured six (6) inches above the root ball, shall be planted in the front yard of all interior lots.

(b) Two (2) minimum three (3) inch caliper trees, as measured six (6) inches above the root ball, shall be planted in the front yard of all corner lots and two (2) additional trees shall be planted in the side yard facing the street.

Exhibit 'C':
Development Standards

Note. Any existing trees that are in conformance with the tree mitigation requirements stipulated by Article IX, Tree Preservation, of the Unified Development Code, which can be preserved, will be counted as credits towards all required landscaping requirements.

7. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
8. *Streets.* The street cross sections shall be as depicted within *Exhibit 'B'* of this ordinance. The property owner (with direct adjacency) shall be responsible for maintaining the area between edge of pavement and their property line (*i.e. the bar ditches/drainage areas*).
9. *Sidewalks.* Sidewalks shall be required to be located along the northern boundary of *Street 'C'* as depicted in *Exhibit 'B'* of this ordinance, and shall begin two (2) feet behind the right-of-way line and be a minimum of five (5') feet in width.
10. *On-Site Sewage Facilities.* *Septic Systems* are permitted on all lots within this subdivision pending conformance to the following standards:
 - (a) All *Septic Systems* shall be designed by a licensed *On-Site Sewage Facility (OSSF)* professional (*e.g. licensed engineer, sanitarian, and etcetera*).
 - (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a *lot-by-lot* basis.
 - (c) All *Septic Systems* shall be inspected and approved by the City's chosen inspector.
11. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to relocate existing overhead power-lines along the perimeter of the *Subject Property*.
12. *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan.
13. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the *Municipal Code of Ordinances* of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, screening fences associated with this development.
14. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

Sumeer Homes Inc.
2404 Texas Dr.
Suite 103
Irving, Texas
75062



Emerson Farms – Rockwall – Letter of Explanation

To whom it may concern, Sumeer Homes is requesting Re-zoning of the Emerson Farms Community, located off of Dowell Road, South of HWY 276. Please find below a short list of requests for rezoning.

- Side Entry Garages – Sumeer Homes is requesting that side entry garages be permitted. The current PD allows only “J-Swing or Swing Type Garages or Traditional Swing configuration.” We believe side entry garages would be the most appropriate option for this community. J-Swing or traditional swing garages are typically utilized on smaller lots, rather than on lots with a one-acre minimum. Allowing side entry garages would help maximize the usable size of each lot and provide greater flexibility in plan selection, while also helping reduce the chances of the community feeling repetitive or monotonous.
- Crown Molding – Per PD 76 (approved in 2014), crown molding is required in all living and family rooms. In our opinion, this requirement is somewhat dated. Many modern homebuyers prefer a cleaner, more contemporary look and often choose to omit crown molding in favor of simpler trim details.
- Fences – Under the current PD 76, a mix of fence types is permitted throughout the community, but fences are not required on individual lots and can be left without fencing. As a measure of good faith, we would willfully make wrought iron the only permitted fence type in the community and require that it be installed on every lot during construction.
- Anti-Monotony – Under the current PD 76, the anti-monotony provisions require at least four intervening homes with differing materials on the same side of the street and two intervening homes with differing materials on the opposite side of the street. As a measure of good faith, we would willfully update this provision to align with the current standard outlined in the 2020–2026 Unified Development Code, which requires five intervening homes with differing materials on the same side of the street and six intervening homes with differing materials on the opposite side of the street.

Thank you for your consideration. We look forward to the opportunity to build another beautiful community in the City of Rockwall. Sumeer Homes values the strong relationship we have built with the City over the years, and we appreciate the continued partnership as we work together to create quality communities that enhance the character and long-term success of Rockwall.

Sumeer Homes Inc.
2404 Texas Dr.
Suite 103
Irving, Texas
75062



Emerson Farms – Rockwall

To whom it may concern, find below the legal description of the 145.102 Acre Tract deeded as the 108 lot Single Family (SF-1) community at Dowell Road.

LEGAL DESCRIPTION

WHEREAS, SUMEER HOMES, INC., is the owner of a tract of land situated in the J. Lockhart Survey, Abstract No. 137, in the City of Rockwall, Rockwall County, Texas, being all of a 138.79 acre tract, as recorded in Doc. No. 20140000017662 in the Official Public Records of Rockwall County, Texas, and being all of a 6.3456 acre tract, as described in 20160000021096 in said Deed Records being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod found at the northeast corner of said 138.79 acre tract:

THENCE, South 00°19'24" East, along the east line of said 138.79 acre tract, for a distance of 1207.96 feet, to a 1/2 inch iron rod found;

THENCE, South 00°37'17" East, continuing along said east line, for a distance of 286.47 feet, to a 1/2 inch iron rod found;

THENCE, South 31°44'42" West, continuing along said east line, for a distance of 16.52 feet, to a 1/2 inch iron rod found;

THENCE, North 80°40'29" West, continuing along said east line, for a distance of 55.86 feet, to a 1/2 inch iron rod found;

THENCE, South 37°34'26" West, continuing along said east line, for a distance of 389.62 feet, to a 1/2 inch iron rod found at the most southerly southeast corner of said 138.79 acre tract;

CONTINUED ON PAGE 2

THENCE, South 89°42'38" West, along the south line of said 138.79 acre tract, for a distance of 3070.62 feet, to a 1/2 inch iron rod found at the most southerly southwest corner of said 138.79 acre tract;

THENCE, North 00°03'28" West, along the west line of said 138.79 acre tract, for a distance of 211.73 feet, to a 1/2 inch iron rod found;

THENCE, North 89°29'31" West, continuing along said west line, for a distance of 34.26 feet, to a 1/2 inch iron rod found;

THENCE, North 00°04'32" West, continuing along said west line, for a distance of 194.53 feet, to a 1/2 inch iron rod found;

THENCE, North 21°45'35" West, continuing along said west line, for a distance of 123.31 feet, to a 1/2 inch iron rod found;

THENCE, North 31°14'28" West, continuing along said west line, for a distance of 98.99 feet, to a 1/2 inch iron rod found at the most westerly southwest corner of said 138.79 acre tract, and being in the south line of said 6.3456 acre tract;

THENCE, North 88°25'03" West, along the south line of said 6.3456 acre tract, for a distance of 94.79 feet, to a 1/2 inch iron rod found at the southwest corner of said 6.3456 acre tract;

THENCE, North 00°32'55" West, along the west line of said 6.3456 acre tract, for a distance of 1192.27 feet, to a 1/2 inch iron rod found at the northwest corner of said 6.3456 acre tract;

THENCE, North 89°38'13" East, along the north line of said 6.3456 acre tract, for a distance of 236.55 feet, to a 1/2 inch iron rod found at the northeast corner of said 6.3456 acre tract and being the northwest corner of said 138.79 acre tract;

THENCE, North 89°37'22" East, along the north line of said 138.79 acre tract, for a distance of 3363.91 feet, to the POINT OF BEGINNING and containing 145.102 acres of land.

17 SOUTH CENTRAL ESTATES DISTRICT

DISTRICT DESCRIPTION

The *South Central Estates District* has the potential to have a mixture of land uses, but is currently relatively undeveloped. The district does have a low density (i.e. *Equestrian Meadows*) and a medium density (i.e. *West View*) subdivision situated within the southern portions of the district. Along SH-276, there are currently some transitional commercial land uses and residential homes situated on long narrow lots. This district is projected to transition to more intense commercial land uses along SH-276, but still maintain estate and rural residential land uses south of SH-276. Much of the areas along SH-276 will depend on the viability and alignment of the future Outer Loop.

POINTS OF REFERENCE

- A. Equestrian Meadows Subdivision
- B. Westhaven Subdivision

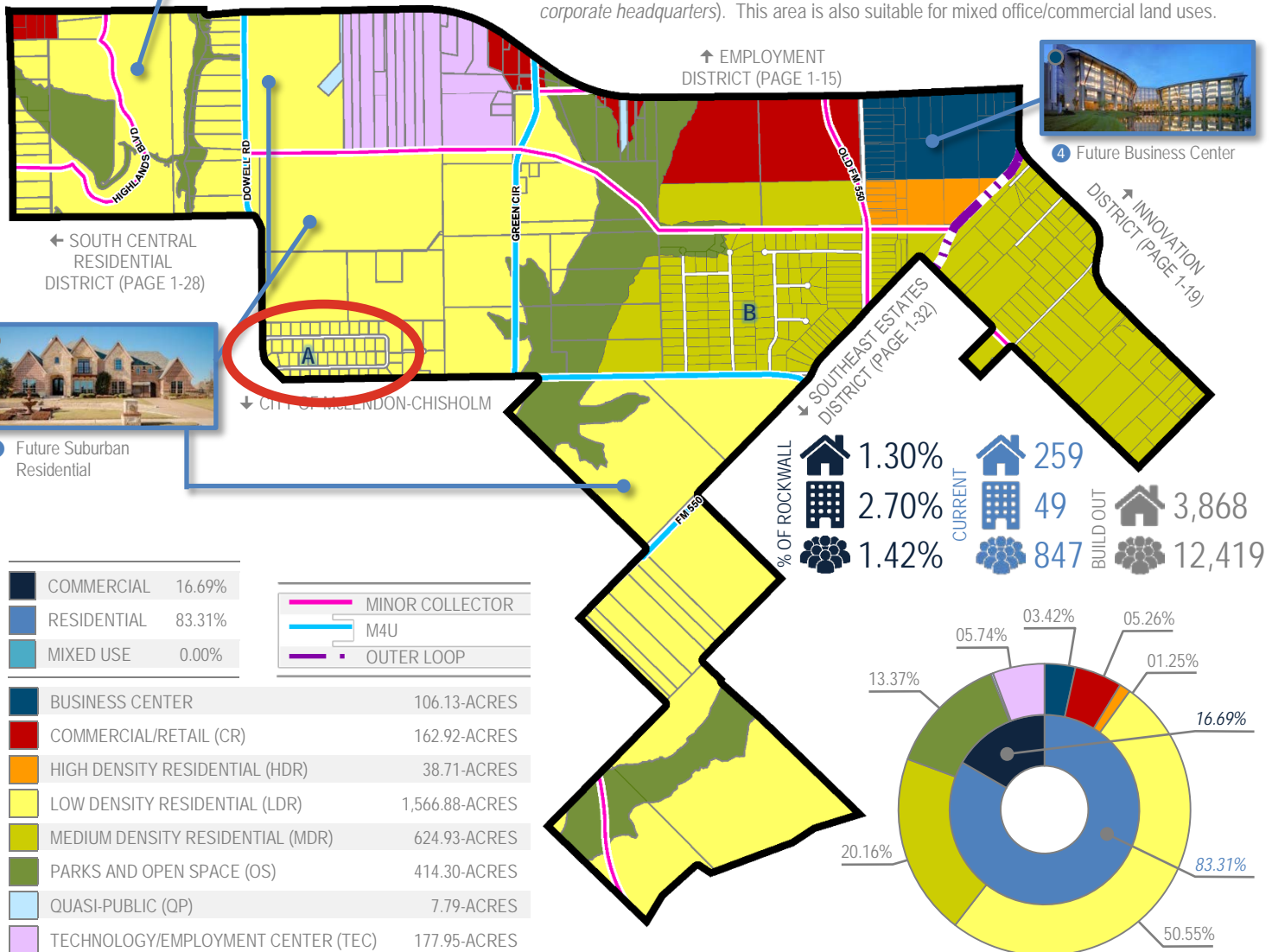
LAND USE PALETTES

- Current Land Use
- Future Land Use



2 Future Suburban Residential

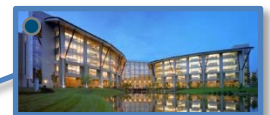
↑ TECHNOLOGY DISTRICT (PAGE 1-31)



DISTRICT STRATEGIES

Taking into account that the *South Central Estates District* has a large amount of mostly vacant or raw land with limited access to infrastructure (i.e. *water and wastewater facilities*), the following are the recommended strategies for this district:

- 1 **Opportunity Zone (Intersection of SH-276 & FM-548).** When constructed this intersection will be a major land use node in the district and have the potential to provide employment and professional campus land uses mixed with entertainment, restaurant and retail land uses that can create an "18-Hour" environment (i.e. *an environment that provides the ability to live, work, shop and dine*).
- 2 **Suburban Residential.** The district has several large tracts of land that can support highly amenitized master planned communities. Any new *Suburban Residential* developments should include a mix of larger to mid-sized lots. In addition, newer subdivisions adjacent to existing larger lot subdivisions should provide a transition (e.g. *larger lots or a large landscape buffer*) adjacent to the existing subdivision. Due to the availability of infrastructure residential in this area may also be suitable for 1½-acre lots with septic systems.
- 3 **Commercial/Retail Centers.** Due to the anticipated alignment of the Outer Loop (i.e. *current alignment of FM-548*), the commercial/retail centers along SH-276 are ideal for larger scale retail businesses and restaurants that could support any office or residential development in the area. These areas could also provide neighborhood service uses intended to allow smaller commercial uses that can support adjacent residential land uses. All commercial developments should incorporate appropriate screening (e.g. *berms, landscaping and large buffers*) to transition uses.
- 4 **Business Center.** The areas designated as *Business Center* are intended to provide space for larger office facilities and combination manufacturing/warehouse and office facilities (e.g. *corporate headquarters*). This area is also suitable for mixed office/commercial land uses.



4 Future Business Center

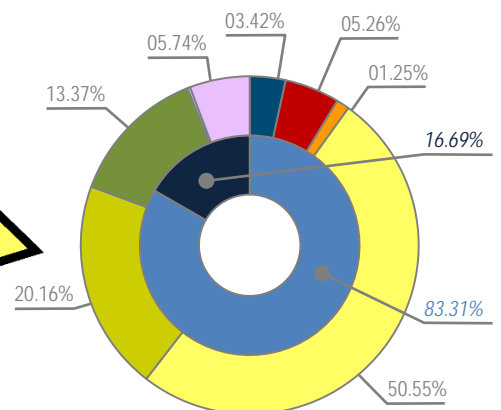


2 Future Suburban Residential

| | | |
|---------------|--------|-------------------|
| ■ COMMERCIAL | 16.69% | — MINOR COLLECTOR |
| ■ RESIDENTIAL | 83.31% | — M4U |
| ■ MIXED USE | 0.00% | — OUTER LOOP |

| | |
|--------------------------------------|----------------|
| ■ BUSINESS CENTER | 106.13-ACRES |
| ■ COMMERCIAL/RETAIL (CR) | 162.92-ACRES |
| ■ HIGH DENSITY RESIDENTIAL (HDR) | 38.71-ACRES |
| ■ LOW DENSITY RESIDENTIAL (LDR) | 1,566.88-ACRES |
| ■ MEDIUM DENSITY RESIDENTIAL (MDR) | 624.93-ACRES |
| ■ PARKS AND OPEN SPACE (OS) | 414.30-ACRES |
| ■ QUASI-PUBLIC (QP) | 7.79-ACRES |
| ■ TECHNOLOGY/EMPLOYMENT CENTER (TEC) | 177.95-ACRES |

| | | | | | |
|-----------|-------|-----------|-----|-----------|--------|
| HOUSE | 1.30% | HOUSE | 259 | HOUSE | 3,868 |
| APARTMENT | 2.70% | APARTMENT | 49 | APARTMENT | 12,419 |
| TREE | 1.42% | TREE | 847 | | |



CITY OF ROCKWALL

ORDINANCE NO. ~~26~~-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 76 (PD-76) [ORDINANCE NO. 14-50] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF CHANGING THE *DEVELOPMENT STANDARDS* FOR A 138.79-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1 OF THE J. LOCKHART SURVEY, ABSTRACT NO. 137, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'* AND DEPICTED HEREIN BY *EXHIBIT 'B'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kenton Creekmore of Sumeer Homes on behalf of Suresh Shridharani for the approval of an amendment to Planned Development District 76 (PD-76) [*Ordinance No. 14-50*] for the purpose of changing development standards for a 138.79-acre tract of land identified as Tract 1 of the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* and depicted in *Exhibit 'B'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 76 (PD-76) [*Ordinance No. 14-50*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the

amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City's subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 4(b) through 4(c) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*).
 - (1) PD Site Plan
 - (2) Preliminary Plat
 - (3) Final Plat
- (c) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the *City* concurrently with a *Preliminary Plat Application* for the development.
- (d) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the *City* concurrently with a *PD Site Plan Application* for the development.
- (e) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

Section 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 8. That this ordinance shall take effect immediately from and after its passage and the

publication of the caption of said ordinance as the law in such cases provides;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 4TH DAY OF MAY, 2026.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 20, 2026

2nd Reading: May 4, 2026

Exhibit 'A':
Legal Description

Legal Description of 138.79-Acre Tract

Located in the John Lockhart Survey, Abstract 137, and the Newell Survey, Abstract No. 167, Rockwall, Texas

All that certain lot, tract or parcel of land situated in the JOHN LOCKHART SURVEY, ABSTRACT NO. 137 and H. K. NEWELL SURVEY, ABSTRACT NO. 167, Rockwall County, Texas, and being all of that 138.781 acres tract of land as described in a Warranty deed from Farm Credit Bank of Texas to Allen Anderson and wife, Loretta Anderson, dated November 27, 1991 and being recorded in Volume 657, Page 303 of the Real Property Records of Rockwall County, Texas, and the same tract as conveyed to L2 Properties, LLC by Deed recorded in Volume 4096, Page 237 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 112" iron rod found for corner at the base of a fence corner post at the Northeast corner of the above cited tract of land;

THENCE S. 00 deg. 19 min. sec. E. along the fenced East line of said tract, a distance of 1207.96 feet to a 112" iron rod found for corner;

THENCE S. 00 deg. 37 min. 17 sec. E. along the fenced East line of said tract, a distance of 286.47 feet to a 1/2" iron rod found for corner at the base of a fence corner post;

THENCE S. 31 deg. 44 min. 42 sec. W. along the fenced East line of said tract, a distance of 16.52 feet to a 112" iron rod found for corner at the base of a fence corner post;

THENCE N. 80 deg. 40 min. 29 sec. W. along the fenced boundary line of said tract, a distance of 55.86 feet to a 1/2" iron rod found for corner at the base of a fence corner post;

THENCE S. 37 deg. 34 min. 16 sec. W. along the fenced boundary line of said tract, a distance of 390.25 feet to a 112" iron rod found for corner at the base of a fence corner post at the Southeast corner of said tract and being at the Southwest corner of a 1.275 acres tract as described in a Deed to Paul Liechty, et al as recorded in Volume 240, Page 546 of the Real Property Records of Rockwall County, Texas;

THENCE S. 89 deg. 42 min. 38 sec. W. (Controlling bearing line) along the South line of said 138.781 acres tract, a distance of 3070.62 feet to a 112" iron rod found for corner in the East edge of Dowell Road;

THENCE N. 00 deg. 03 min. 28 sec. W. along the East edge of Dowell Road, a distance of 211.73 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 89 deg. 29 min. 31 sec. W. crossing said Dowell Road, a distance of 34.26 feet to a 112" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West margin of said road;

THENCE N. 00 deg. 04 min. 32 sec. W. along the West margin of said road, a distance of 194.53 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 21 deg. 45 min. 35 sec. W. along the West margin of said road, a distance of 123.31 feet to a 112" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 31 deg. 14 min. 48 sec. W. along the West margin of said road, a distance of 98.94 feet to a 112" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 89 deg. 44 min. 09 sec. E. crossing said Dowell Road, a distance of 131.11 feet to a 112" iron rod found for corner;

THENCE N. 00 deg. 03 min. 43 sec. W. a distance of 1195.77 feet to a 112" iron rod found for corner at the Northwest corner of said 138.781 acres tract;

THENCE N. 89 deg. 37 min. 22 sec. E. along the North line of said tract, a distance of 3364.45 feet to the POINT OF BEGINNING and containing 138.79 acres of land.

Exhibit 'B': Concept Plan

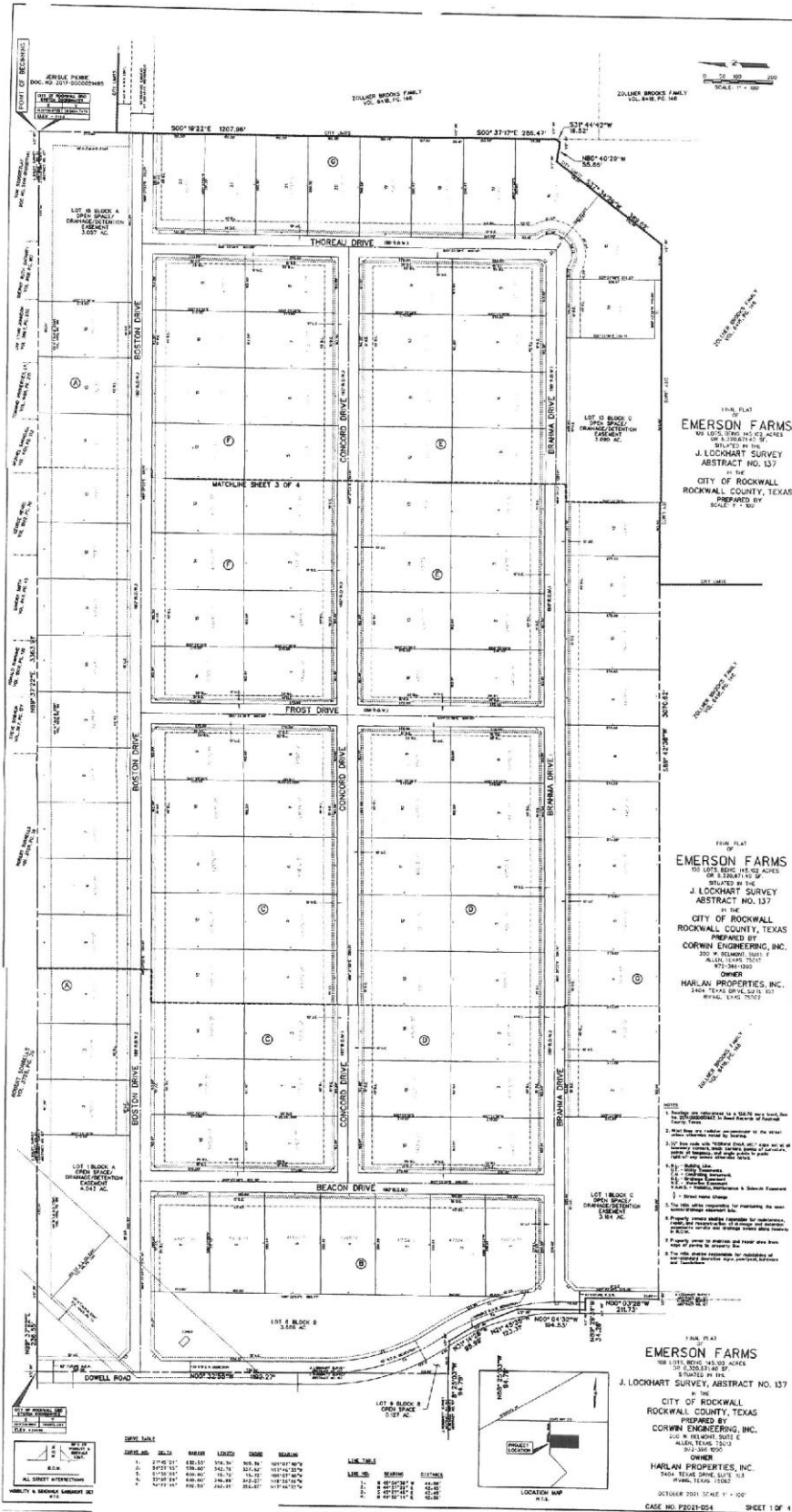


Exhibit 'C':
Development Standards

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article IV, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Density and Dimensional Requirements.* The maximum permissible density for the *Subject Property* shall not exceed one (1) dwelling unit per gross acre of land; however, in no case should the proposed development exceed 107 units. All lots shall conform to the standards depicted in *Table 1* below unless specifically provided for in *Table 2* below.

Table 1: Lot Dimensional Requirements

| | |
|--|------------------------------|
| Minimum Lot Width ⁽¹⁾ | 150' |
| Minimum Lot Depth | 250' |
| Minimum Lot Area | 43,560 SF |
| Minimum Front Yard Setback ⁽²⁾ | 40' |
| Minimum Side Yard Setback | 25' |
| Minimum Side Yard Setback (Adjacent to a Street) | 25' |
| Minimum Length of Driveway Pavement (Rear and Side Yard Only) | 25' |
| Maximum Height ⁽³⁾ | 36' |
| Minimum Rear Yard Setback ⁽⁴⁾ | 25' |
| Minimum Area/Dwelling Unit (SF) ⁽⁵⁾ | 2,600 SF 3,000 SF |
| Maximum Lot Coverage | 45% |
| Minimum Number of Paved Off-Street Parking Spaces ⁽⁶⁾ | 2 Spaces |
| Minimum Distance Between Buildings | 10' |

General Notes:

- 1: The minimum lot width shall be measured at the *Front Yard Building Setback*.
- 2: The location of the *Front Yard Building Setback* as measured from the front property line.
- 3: The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-family home.
- 4: As measured from the rear yard property line.
- 5: The minimum area/dwelling unit only includes air-conditioned square space.
- 6: A two (2) car garage is required.

Table 2: Lot Exceptions

| <i>Lot/Block Number</i> | <i>Width</i> | <i>Depth</i> | <i>Lot Area</i> |
|-------------------------|--------------|--------------|-----------------|
| <i>Lot 1, Block B</i> | 149.47' | 291' | 43,560 SF |
| <i>Lot 2, Block B</i> | 149.04' | 291.85' | 43,560 SF |
| <i>Lot 3, Block B</i> | 148.61' | 292.70' | 43,560 SF |
| <i>Lot 16, Block C</i> | 142.70' | 250' | 43,560 SF |
| <i>Lot 7, Block F</i> | 149.92' | 290.23' | 43,560 SF |
| <i>Lot 9, Block E</i> | 143.01' | 250' | 43,926 SF |

Note. All lots are as depicted in Exhibit 'B' of this ordinance. Changes to the dimensions of these lots can be administratively approved by the Director of Planning or his/her designee, but at no point should the lot area be less than 43,560 SF.

3. *Building Standards.* All development shall adhere to the following building standards:
 - (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement

Exhibit 'C':
Development Standards

shall be limited to full width brick, natural stone, cast stone, cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*), and stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff). Cementaceous products (e.g. *HardiBoard*, *Hardy Plank*, *Stucco*, etcetera) shall be limited to 50% of the masonry requirement.

- (b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
- (c) *Garage Orientation*. *Side Entry*, *Traditional Swing*, or *J-Swing* garages. A second, single garage door facing the street is permitted behind the width of the required double door garage that is accessed from a *J-Swing* or *Traditional Swing* configuration. All driveways for *Side Entry* garages shall be located five a minimum of (5) feet from the side property line.
- 4. *Anti-Monotony Restrictions*. The development shall adhere to the following *Anti-Monotony* restrictions (for spacing requirements see the illustration below):
 - (1) Exterior wall materials must comply with the *Masonry Requirements* listed in *Section 3.(a)*. Additionally, all chimneys are required to utilize masonry materials.
 - (2) Identical brick blends or paint colors may not occur on adjacent (*side-by-side*) properties along any block face without at least **five (5) intervening homes** of differing materials on the same side of the street beginning with the adjacent property and **six (6) intervening homes** of differing materials on the opposite side of the street.
 - (3) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and **six (6) intervening homes** of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on Dowell Road shall not repeat without at least **five (5) intervening homes** of differing appearance. Homes are considered to have a differing appearance if any of the following **three (3)** items deviate:
 - (a) Number of Stories
 - (b) Garage Location
 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
 - ~~(4) Crown molding will be installed in all living and family rooms, unless vaulted or pop-up ceilings are utilized. No *Formica* countertops maybe installed in kitchens and/or bathrooms, and vinyl flooring and blown acoustic ceilings are prohibited.~~
 - (5) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

Illustration 1: Properties line up on the opposite side of the street. Where RED are the same.



Exhibit 'C':
Development Standards

Illustration 2: Properties do not line up on opposite side of the street. Where RED are the same.



5. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - ~~(a) Solid Residential Fencing. All solid residential fencing shall be cedar standard fencing material (minimum ½" thickness) or better (spruce fencing is not allowed). All cedar pickets shall be placed on the public side facing the street or neighboring property.~~
 - ~~(b) Wrought-Iron/Tubular Steel Fencing. All fencing shall be six (6) foot wrought iron/ tubular steel fencing. All residential lots shall be required to install six (6) foot wrought iron/tubular steel fencing at the time of construction.~~
 - ~~(c) Common Area Fencing. All common areas and perimeter fencing shall be maintained by a Homeowners Association (HOA) as specified by the Subdivision Regulations contained in Chapter 38 of the City's Municipal Code of Ordinances. Common area fencing shall be constructed of wrought iron/tubular steel and shall be six (6) feet in height.~~

6. **Landscaping.** At the time of final inspection, all single-family lots shall be landscaped with large canopy trees as follows:
 - (a) Two (2) minimum three (3) inch caliper trees, as measured six (6) inches above the root ball, shall be planted in the front yard of all interior lots.
 - (b) Two (2) minimum three (3) inch caliper trees, as measured six (6) inches above the root ball, shall be planted in the front yard of all corner lots and two (20 additional trees shall be planted in the side yard facing the street.

Exhibit 'C':
Development Standards

Note. Any existing trees that are in conformance with the tree mitigation requirements stipulated by Article IX, Tree Preservation, of the Unified Development Code, which can be preserved, will be counted as credits towards all required landscaping requirements.

7. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
8. *Streets.* The street cross sections shall be as depicted within *Exhibit 'B'* of this ordinance. The property owner (with direct adjacency) shall be responsible for maintaining the area between edge of pavement and their property line (*i.e. the bar ditches/drainage areas*).
9. *Sidewalks.* Sidewalks shall be required to be located along the northern boundary of *Street 'C'* as depicted in *Exhibit 'B'* of this ordinance, and shall begin two (2) feet behind the right-of-way line and be a minimum of five (5') feet in width.
10. *On-Site Sewage Facilities. Septic Systems* are permitted on all lots within this subdivision pending conformance to the following standards:
 - (a) All *Septic Systems* shall be designed by a licensed *On-Site Sewage Facility (OSSF)* professional (*e.g. licensed engineer, sanitarian, and etcetera*).
 - (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a *lot-by-lot* basis.
 - (c) All *Septic Systems* shall be inspected and approved by the City's chosen inspector.
11. *Buried Utilities.* New distribution power-lines required to serve the *Subject Property* shall be placed underground, whether such lines are located internally or along the perimeter of the *Subject Property*, unless otherwise authorized by the City Council. New transmission power-lines, or distribution lines of a size not typically or cost effectively placed underground (*3-phase lines*), or additional lines that are added to existing poles, may be above ground, if located along the perimeter of the *Subject Property*. The *Developer* shall not be required to relocate existing overhead power-lines along the perimeter of the *Subject Property*.
12. *Neighborhood Signage.* Permanent subdivision identification signage shall be permitted at all major entry points for the proposed subdivision. Final design and location of any entry features shall be reviewed and approved with the PD Site Plan.
13. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the *Municipal Code of Ordinances* of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, screening fences associated with this development.
14. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 76 (PD-76) [ORDINANCE NO. 14-50] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF CHANGING THE DEVELOPMENT STANDARDS FOR A 138.79-ACRE TRACT OF LAND IDENTIFIED AS TRACT 1 OF THE J. LOCKHART SURVEY, ABSTRACT NO. 137, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' AND DEPICTED HEREIN BY EXHIBIT 'B'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kenton Creekmore of Sumeer Homes on behalf of Suresh Shridharani for the approval of an amendment to Planned Development District 76 (PD-76) [Ordinance No. 14-50] for the purpose of changing development standards for a 138.79-acre tract of land identified as Tract 1 of the J. Lockhart Survey, Abstract No. 137, City of Rockwall, Rockwall County, Texas and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 76 (PD-76) [Ordinance No. 14-50] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

Section 2. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in Exhibit 'B' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'B', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 3. That development of the *Subject Property* shall generally be in accordance with the *Development Standards*, described in Exhibit 'C' of this ordinance, attached hereto and incorporated herein by reference as Exhibit 'C', which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

Section 4. That development of the *Subject Property* shall be in conformance with the schedule listed below (*except as set forth below with regard to simultaneous processing and approvals*).

- (a) The procedures set forth in the City' s subdivision regulations on the date this ordinance is approved by the City, as amended by this ordinance (*including Subsections 4(b) through 4(c) below*), shall be the exclusive procedures applicable to the subdivision and platting of the Property.
- (b) The following plans and plats shall be required in the order listed below (*except as set forth below with regard to simultaneous processing and approvals*).
 - (1) PD Site Plan
 - (2) Preliminary Plat
 - (3) Final Plat
- (c) *PD Site Plan.* A *PD Site Plan* covering all of the *Subject Property* shall be submitted and shall identify all site/landscape/hardscape plan(s) for all open space, neighborhood parks, trail systems, street buffers and entry features. A *PD Site Plan* application may be processed by the *City* concurrently with a *Preliminary Plat Application* for the development.
- (d) *Preliminary Plat.* A *Preliminary Plat* covering all of the *Subject Property* shall be submitted and shall include a *Treescape Plan*. A *Preliminary Plat Application* may be processed by the *City* concurrently with a *PD Site Plan Application* for the development.
- (e) *Final Plat.* Prior to the issuance of any building permits, a *Final Plat*, conforming to the *Preliminary Plat*, for all of the *Subject Property* shall be submitted for approval.

Section 5. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

Section 6. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

Section 7. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

Section 8. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF MAY, 2026.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 20, 2026

2nd Reading: May 4, 2026

Exhibit 'A':
Legal Description

Legal Description of 138.79-Acre Tract

Located in the John Lockhart Survey, Abstract 137, and the Newell Survey, Abstract No. 167, Rockwall, Texas

All that certain lot, tract or parcel of land situated in the JOHN LOCKHART SURVEY, ABSTRACT NO. 137 and H. K. NEWELL SURVEY, ABSTRACT NO. 167, Rockwall County, Texas, and being all of that 138.781 acres tract of land as described in a Warranty deed from Farm Credit Bank of Texas to Allen Anderson and wife, Loretta Anderson, dated November 27, 1991 and being recorded in Volume 657, Page 303 of the Real Property Records of Rockwall County, Texas, and the same tract as conveyed to L2 Properties, LLC by Deed recorded in Volume 4096, Page 237 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 112" iron rod found for corner at the base of a fence corner post at the Northeast corner of the above cited tract of land;

THENCE S. 00 deg. 19 min. sec. E. along the fenced East line of said tract, a distance of 1207.96 feet to a 112" iron rod found for corner;

THENCE S. 00 deg. 37 min. 17 sec. E. along the fenced East line of said tract, a distance of 286.47 feet to a 1/2" iron rod found for corner at the base of a fence corner post;

THENCE S. 31 deg. 44 min. 42 sec. W. along the fenced East line of said tract, a distance of 16.52 feet to a 112" iron rod found for corner at the base of a fence corner post;

THENCE N. 80 deg. 40 min. 29 sec. W. along the fenced boundary line of said tract, a distance of 55.86 feet to a 1/2" iron rod found for corner at the base of a fence corner post;

THENCE S. 37 deg. 34 min. 16 sec. W. along the fenced boundary line of said tract, a distance of 390.25 feet to a 112" iron rod found for corner at the base of a fence corner post at the Southeast corner of said tract and being at the Southwest corner of a 1.275 acres tract as described in a Deed to Paul Liechty, et al as recorded in Volume 240, Page 546 of the Real Property Records of Rockwall County, Texas;

THENCE S. 89 deg. 42 min. 38 sec. W. (Controlling bearing line) along the South line of said 138.781 acres tract, a distance of 3070.62 feet to a 112" iron rod found for corner in the East edge of Dowell Road;

THENCE N. 00 deg. 03 min. 28 sec. W. along the East edge of Dowell Road, a distance of 211.73 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 89 deg. 29 min. 31 sec. W. crossing said Dowell Road, a distance of 34.26 feet to a 112" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West margin of said road;

THENCE N. 00 deg. 04 min. 32 sec. W. along the West margin of said road, a distance of 194.53 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 21 deg. 45 min. 35 sec. W. along the West margin of said road, a distance of 123.31 feet to a 112" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 31 deg. 14 min. 48 sec. W. along the West margin of said road, a distance of 98.94 feet to a 112" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;

THENCE N. 89 deg. 44 min. 09 sec. E. crossing said Dowell Road, a distance of 131.11 feet to a 112" iron rod found for corner;

THENCE N. 00 deg. 03 min. 43 sec. W. a distance of 1195.77 feet to a 112" iron rod found for corner at the Northwest corner of said 138.781 acres tract;

THENCE N. 89 deg. 37 min. 22 sec. E. along the North line of said tract, a distance of 3364.45 feet to the POINT OF BEGINNING and containing 138.79 acres of land.

Exhibit 'B': Concept Plan

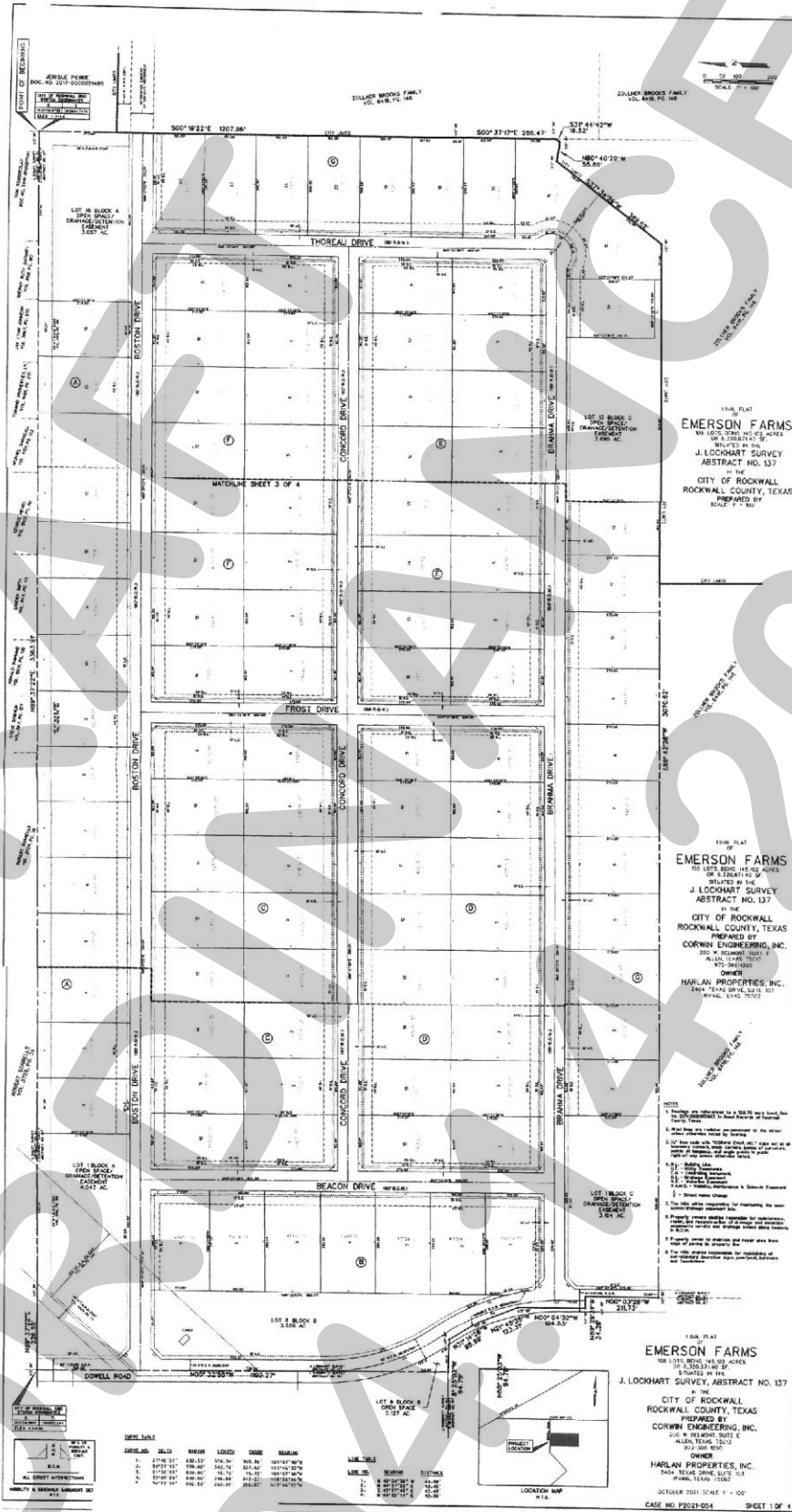


Exhibit 'C':
Development Standards

Development Standards.

1. *Permitted Uses.* Unless specifically provided by this Planned Development ordinance, only those uses permitted within the Single Family 1 (SF-1) District, as stipulated by the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), are allowed on the *Subject Property*.
2. *Density and Dimensional Requirements.* The maximum permissible density for the *Subject Property* shall not exceed one (1) dwelling unit per gross acre of land; however, in no case should the proposed development exceed 107 units. All lots shall conform to the standards depicted in *Table 1* below unless specifically provided for in *Table 2* below.

Table 1: Lot Dimensional Requirements

| | |
|---|-----------|
| <i>Minimum Lot Width</i> ⁽¹⁾ | 150' |
| <i>Minimum Lot Depth</i> | 250' |
| <i>Minimum Lot Area</i> | 43,560 SF |
| <i>Minimum Front Yard Setback</i> ⁽²⁾ | 40' |
| <i>Minimum Side Yard Setback</i> | 25' |
| <i>Minimum Side Yard Setback (Adjacent to a Street)</i> | 25' |
| <i>Minimum Length of Driveway Pavement (Rear and Side Yard Only)</i> | 25' |
| <i>Maximum Height</i> ⁽³⁾ | 36' |
| <i>Minimum Rear Yard Setback</i> ⁽⁴⁾ | 25' |
| <i>Minimum Area/Dwelling Unit (SF)</i> ⁽⁵⁾ | 3,000 SF |
| <i>Maximum Lot Coverage</i> | 45% |
| <i>Minimum Number of Paved Off-Street Parking Spaces</i> ⁽⁶⁾ | 2 Spaces |
| <i>Minimum Distance Between Buildings</i> | 10' |

General Notes:

1. The minimum lot width shall be measured at the *Front Yard Building Setback*.
2. The location of the *Front Yard Building Setback* as measured from the front property line.
3. The *Maximum Height* shall be measured to the eave or top plate (whichever is greater) of the single-family home.
4. As measured from the rear yard property line.
5. The minimum area/dwelling unit only includes air-conditioned square space.
6. A two (2) car garage is required.

Table 2: Lot Exceptions

| <i>Lot/Block Number</i> | <i>Width</i> | <i>Depth</i> | <i>Lot Area</i> |
|-------------------------|--------------|--------------|-----------------|
| <i>Lot 1, Block B</i> | 149.47' | 291' | 43,560 SF |
| <i>Lot 2, Block B</i> | 149.04' | 291.85' | 43,560 SF |
| <i>Lot 3, Block B</i> | 148.61' | 292.70' | 43,560 SF |
| <i>Lot 16, Block C</i> | 142.70' | 250' | 43,560 SF |
| <i>Lot 7, Block F</i> | 149.92' | 290.23' | 43,560 SF |
| <i>Lot 9, Block E</i> | 143.01' | 250' | 43,926 SF |

Note. All lots are as depicted in Exhibit 'B' of this ordinance. Changes to the dimensions of these lots can be administratively approved by the Director of Planning or his/her designee, but at no point should the lot area be less than 43,560 SF.

3. *Building Standards.* All development shall adhere to the following building standards:
 - (a) *Masonry Requirement.* The minimum masonry requirement for the exterior façades of all buildings shall be 80%. For the purposes of this ordinance the masonry requirement

Exhibit 'C':
Development Standards

shall be limited to full width brick, natural stone, cast stone, cementaceous fiberboard horizontal lap-siding (e.g. *HardiBoard* or *Hardy Plank*), and stucco (i.e. *three [3] part stucco* or a comparable -- to be determined by staff). Cementaceous products (e.g. *HardiBoard*, *Hardy Plank*, *Stucco*, etcetera) shall be limited to 50% of the masonry requirement.

- (b) *Roof Pitch*. A minimum of an 8:12 roof pitch is required on all structures with the exception of porches, which shall have a minimum of a 4:12 roof pitch.
 - (c) *Garage Orientation. Side Entry, Traditional Swing, or J-Swing garages*. A second, single garage door facing the street is permitted behind the width of the required double door garage that is accessed from a *J-Swing* or *Traditional Swing* configuration. All driveways for *Side Entry* garages shall be located a minimum of five (5) feet from the side property line.
4. *Anti-Monotony Restrictions*. The development shall adhere to the following *Anti-Monotony* restrictions (for spacing requirements see the illustration below):
- (1) Exterior wall materials must comply with the *Masonry Requirements* listed in *Section 3.(a)*. Additionally, all chimneys are required to utilize masonry materials.
 - (2) Identical brick blends or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least five (5) intervening homes of differing materials on the same side of the street beginning with the adjacent property and six (6) intervening homes of differing materials on the opposite side of the street.
 - (3) Front building elevations shall not repeat along any block face without at least five (5) intervening homes of differing appearance on the same side of the street and six (6) intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces or on Dowell Road shall not repeat without at least five (5) intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following three (3) items deviate:
 - (a) Number of Stories
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 - (c) Roof Type and Layout
 - (d) Articulation of the Front Façade
 - (4) Each phase of the subdivision will allow for a maximum of four (4) compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (*3-Tab Roofing Shingles are prohibited*).

See the Illustrations on the following page.

Exhibit 'C':
Development Standards

FIGURE 1: PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



FIGURE 2: PROPERTIES DO NOT LINE UP ON OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



5. **Fencing Standards.** All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:
 - (a) **Wrought-Iron/Tubular Steel Fencing.** All fencing shall be six (6) foot wrought iron/tubular steel fencing. All residential lots shall be required to install six (6) foot wrought iron/tubular steel fencing at the time of construction.
 - (b) **Common Area Fencing.** All common areas and perimeter fencing shall be maintained by a Homeowners Association (HOA) as specified by the *Subdivision Regulations* contained in *Chapter 38* of the City's *Municipal Code of Ordinances*. Common area fencing shall be constructed of wrought iron/tubular steel and shall be six (6) feet in height.
6. **Landscaping.** At the time of final inspection, all single-family lots shall be landscaped with large canopy trees as follows:
 - (a) Two (2) minimum three (3) inch caliper trees, as measured six (6) inches above the root ball, shall be planted in the front yard of all interior lots.

Exhibit 'C':
Development Standards

- (b) Two (2) minimum three (3) inch caliper trees, as measured six (6) inches above the root ball, shall be planted in the front yard of all corner lots and two (20 additional trees shall be planted in the side yard facing the street.

Note. Any existing trees that are in conformance with the tree mitigation requirements stipulated by Article IX, Tree Preservation, of the Unified Development Code, which can be preserved, will be counted as credits towards all required landscaping requirements.

7. *Lighting.* Light poles shall not exceed 20-feet in total height (*i.e. base and lighting standard*). All fixtures shall be directed downward and be positioned to contain all light within the development area.
8. *Streets.* The street cross sections shall be as depicted within *Exhibit 'B'* of this ordinance. The property owner (with direct adjacency) shall be responsible for maintaining the area between edge of pavement and their property line (*i.e. the bar ditches/drainage areas*).
9. *Sidewalks.* Sidewalks shall be required to be located along the northern boundary of *Street 'C'* as depicted in *Exhibit 'B'* of this ordinance, and shall begin two (2) feet behind the right-of-way line and be a minimum of five (5') feet in width.
10. *On-Site Sewage Facilities.* *Septic Systems* are permitted on all lots within this subdivision pending conformance to the following standards:
- (a) All *Septic Systems* shall be designed by a licensed *On-Site Sewage Facility (OSSF)* professional (*e.g. licensed engineer, sanitarian, and etcetera*).
- (b) A stamped and signed copy of the *Septic System* plans indicating the full limits of the septic field shall be submitted to the city at the time of building permit on a *lot-by-lot* basis.
- (c) All *Septic Systems* shall be inspected and approved by the City's chosen inspector.
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13. *Homeowner's Association (HOA).* A Homeowner's Association shall be created to enforce the restrictions established in accordance with the requirements of *Section 38-15* of the *Subdivision Regulations* contained within the *Municipal Code of Ordinances* of the City of Rockwall. The HOA shall also maintain all neighborhood parks, trails, open space and common areas, irrigation, landscaping, screening fences associated with this development.
14. *Variances.* The variance procedures and standards for approval that are set forth in the Unified Development Code shall apply to any application for variances to this ordinance.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: April 14, 2026

APPLICANT: Kris Sharp; *5 Sharp Real Estate, LLC*

CASE NUMBER: Z2026-014; *Amendment to Planned Development District 46 (PD-46)*

SUMMARY

Hold a public hearing to discuss and consider a request by Kris Sharp of 5 Sharp Real Estate, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [*Ordinance No. 25-12*] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

BACKGROUND

The subject property was annexed -- *along with the rest of the land area that makes up Planned Development District 46 (PD-46)* -- by the City Council on July 21, 1997 by *Ordinance No. 97-14 [Case No. A1997-001]*. At the time of annexation, the subject property and the remainder of Planned Development District 46 (PD-46) were zoned Agricultural (AG) District; however, many of the land uses that exist today were already established uses at the time of annexation. Based on this, the City Council approved *Ordinance No. 99-05* on March 1, 1999. This ordinance changed the zoning of the area from an Agricultural (AG) District to Planning Development District 46 (PD-46). Under this Planned Development District all of the properties were given a base zoning of Commercial (C) District, but were also granted the ability to continue the current land use on each of the properties (*i.e. the zoning ordinance made the legally non-conforming land uses by-right land uses for each of the properties*). On August 2, 2021, the City Council approved an amendment to Planned Development District 46 [*Case No. Z2021-024*] to allow the *Warehouse/Distribution Center* land use *by-right* on the subject property, otherwise indicated as *Tract 12* within *Ordinance No. 21-32*. On August 10, 2021, the Planning and Zoning Commission approved a site plan [*Case No. SP2021-015*] to allow the construction of a 22,000 SF *Office/Warehouse Building* on *Tract 12*.

On January 18, 2023, a building permit (*COM2022-6322*) was issued for the construction of the *Office/Warehouse Building*. During construction of this building, a wrought-iron fence was installed in the front yard of the property without a building permit. The property owner came before the Planning and Zoning Commission on March 26, 2024 requesting to allow the unpermitted front yard fence to remain [*Case No. MIS2024-004*]. Ultimately, this request was subsequently approved by the Planning and Zoning Commission by a vote of 5 to 0. At some point after the last failed final inspection (*i.e. dated September 4, 2024*) for the building permit [*Permit No. COM2022-6322*] the applicant began operating a business without a finalized building permit or Certificate of Occupancy (CO). In addition, the applicant failed to submit mylars for filing their replat [*Case No. P2022-004*]. This means that the necessary fire lane and utility easements were not established on the property.

On December 19, 2025, -- *at the direction of the Planning Department* -- the Neighborhood Improvement Services (NIS) Division opened an enforcement case [*Case No. CE2025-7041*] for unpermitted *Outside Storage* on the subject property. In addition, a case was opened [*Case No. CE 2025-7040*] for operating without a Certificate of Occupancy (CO). The Planning Division also made several attempts to get the property owner to file the final plat, and this has not been filed to date. Following these attempts and enforcement actions, four (4) citations were issued before the applicant's submittal requesting the amendment to Planned Development District 46 (PD-46); however, during this time period the applicant did receive a final inspection for the outstanding building permit, and an approved Certificate of Occupancy (CO) for *Office/Warehouse* on February 4, 2026. Staff should note, that the applicant has not discontinued the storage of building materials and product outside of the building in the required parking spaces since they were originally notified on December 19, 2025.

PURPOSE

The applicant -- *Kris Sharp of 5 Sharp Real Estate, LLC* -- is requesting to amend Planned Development District 46 (PD-46) [Ordinance No. 25-12] to allow *Outside Storage* on the subject property at 3301 Springer Road.

ADJACENT LAND USES AND ACCESS

The subject property is located at 3301 Springer Road. The land uses adjacent to the subject property are as follows:

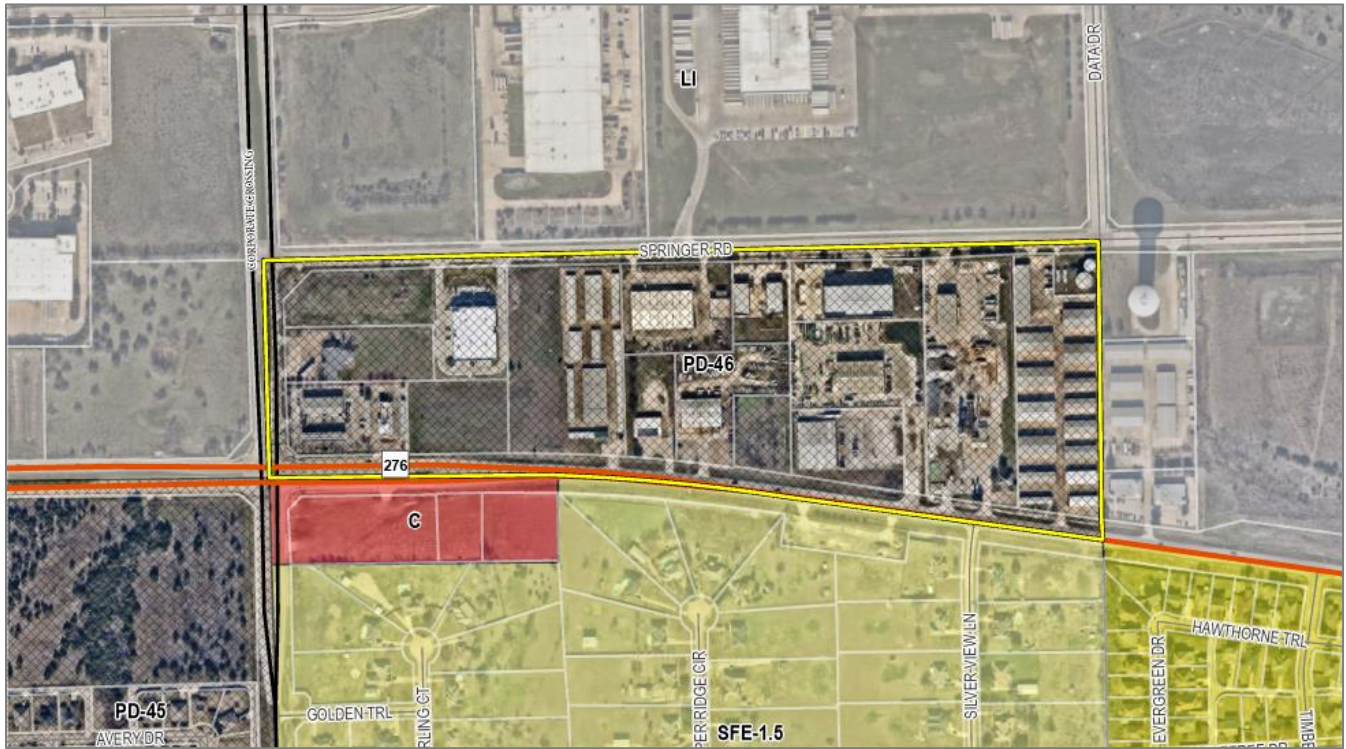
North: Directly north of the subject property is Springer Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 38.932-acre parcel of land (*i.e. Lot 2, Block B, Rockwall Technology Park, Phase III Addition*) developed with a ~278,270 SF food manufacturing facility (*i.e. Bimbo Bakery*) zoned Light Industrial (LI) District.

South: Directly south of the subject property is a 3.212-acre parcel of land (*i.e. Lot 7, Block A, Sharp Addition*) developed with a *Heavy Machinery and Equipment Rental, Sales, and Service Facility* (*i.e. Sunbelt Rentals*). Beyond this is a 1.964-acre parcel of land (*i.e. Lot 1, Block A, Sharp Addition*) developed with an *Office/Warehouse Building*. Both properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. Following this is SH-276, which is identified as a P6D (*i.e. Principal Arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Sterling Farms Subdivision, which consists of 48 single-family residential lots that were established in 1997. This subdivision is zoned Single-Family Estate 1.5 (SFE-1.5) District.

East: Directly east of the subject property is a 5.317-acre tract of land (*i.e. Tract 2-13 of the J. A. Ramsey Survey, Abstract No. 186*) developed with a *Concrete Batch Plant Facility* (*i.e. Lattimore Materials*). Beyond this is a 7.571-acre parcel of land (*i.e. Lot 1, Block 1, Highway 276 Self Storage Addition*) developed with a *Mini-Warehouse Facility*. Following this are two (2) tracks of land (*i.e. Tract 2-4 & 10-3 of the J. A. Ramsey Survey, Abstract No. 186*) developed with Blackland Water Supply water storage tanks and a City of Rockwall water tower. All of these properties are zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses. East of this is a 56.5033-acre vacant parcel of land (*i.e. Lot 1, Block C, Rockwall Technology Park Phase V*) zoned Light Industrial (LI) District.

West: Directly west of the subject property is are several tracts of land that make up the remainder of Planned Development District 46 (PD-46). Beyond this is Corporate Crossing, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

Continued on next page...



CHARACTERISTICS OF THE REQUEST

The applicant has submitted civil engineering plans (*i.e. erosion control plan, grading plan, paving plan, detention calculations and layout, drainage area plans, site and dimension control plan, and utility plans*) that were used during their initial construction of the subject property. In addition, the applicant has provided a letter "...requesting Outside Storage as a permitted land use on the property."

CONFORMANCE TO THE CITY'S CODES AND STAFF ANALYSIS

According to *Ordinance No. 25-12*, the Planned Development District allows any land uses permitted within the Commercial (C) District and specifically *Warehouse/Distribution* on the subject property as a permitted *by-right* land use. The applicant's request would change this section to add *Outside Storage* as a permitted land use only in Tract 12 (*i.e. 3301 Springer Road*) of this Planned Development District.

According to Subsection 01.05, *Screening Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(o)utside storage of materials or vehicles shall be screened from all public rights-of-way, any adjacent properties, and parks and open space that abut or are directly across a public street or alley from the subject property. The screening must be at least one (1) foot taller than the material or vehicles being stored and shall be achieved using a masonry wall (excluding tilt wall or concrete masonry units [CMU] unless otherwise approved by the Planning and Zoning Commission) and Canopy Trees on 20-foot centers. As an alternative, the Planning and Zoning Commission may approve a screening method..." such as three (3) tiered screening (*i.e. one (1) row of canopy trees, one (1) row of accent trees, and one (1) row of evergreen shrubs*). In addition to the requirements of the Unified Development Code (UDC), staff included *Notes* within the draft ordinance that requires that the [1] *Outside Storage* shall only be permitted in areas designated on a *Site Plan*, and [2] *Outside Storage* shall be visibly screened from the right-of-way (ROW) and all adjacent properties. In this case, the applicant has not provided any type of concept plan showing the location of the proposed *Outside Storage* or a screening plan. Staff should note that the concept plan and screening plan was requested by the Planning and Zoning Commission at the March 31, 2026 work session meeting. Given that the applicant failed to appear at the work session meeting, staff sent email to the applicant the following day requesting the concept plan and screening plan, as well as detailing that meeting attendance is required.

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), *Office Buildings* require one (1) parking space per 300 SF, and *Warehousing* requires one (1) parking space per 1,000 SF. In this case, the applicant is required to provide 26 parking spaces based on the approved site plan [Case No. SP2021-015]. Staff has provided an aerial below, which indicates that all of the required parking on the subject property is currently being used for *Outside Storage*.



FIGURE 1: JANUARY 12, 2026

With that being said, this is a request for a zoning change, which is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is located within the *Technology District* and is designated for *Commercial/Retail* land uses on the Future Land Use Plan. Since the applicant's request does not change the land use designation on the Future Land Use Plan, this request would not change the properties conformity with regards to the land use plan contained in the OURHometown Vision 2040 Comprehensive Plan; however, the land use not being permitted within the Commercial (C) District would increase the non-conformity of the Planned Development District with regard to the goals and policies contained in the OURHometown Vision 2040 Comprehensive Plan. Specifically, Goal 06, *Mitigation of Negative Impacts*, Policy 2, of Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states that "(o)utside storage areas should be discouraged in commercial/retail areas. This is especially important along major commercial/retail corridors... [and] Where permitted outside storage should be fully screened from public view." In this case, the subject property is identified as *Commercial/Retail* on the Future Land Use Plan and the applicant is not proposing any screening. Based on this, the applicant's request does not appear to meet the goals and policies set forth in the OURHometown Vision 2040 Comprehensive Plan. That being said, the proposed zoning change is considered to be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

Since this is an amendment to an existing Planned Development District ordinance, it required staff to notify all property owners within the Planned Development District and within 500-feet of the Planned Development District's boundaries concerning the zoning change. As a result, on March 17, 2026, staff mailed 74 notices to property owners and occupants in or within 500-feet

of the Planned Development District 46 (PD-46). Staff also sent a notice to the Lofland Farms and Timber Creek Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received any notices with regard to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to amend Planned Development District 46 (PD-46) to allow *Outside Storage* on the subject property as indicated in the draft ordinance, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the requirements contained in the Planned Development District ordinance.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3301 SPRINGER RD

SUBDIVISION _____

LOT 8

BLOCK A

GENERAL LOCATION SPRINGER / 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-46

CURRENT USE WAREHOUSE

PROPOSED ZONING A110 OUTSIDE STORAGE

PROPOSED USE WAREHOUSE / OUTSIDE STORAGE

ACREAGE 1.19

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER KRIS SHARP

APPLICANT _____

CONTACT PERSON AMIE WALLACE

CONTACT PERSON _____

ADDRESS _____

ADDRESS _____

CITY, STATE & ZIP _____

CITY, STATE & ZIP _____

PHONE _____

PHONE _____

E-MAIL _____

E-MAIL _____

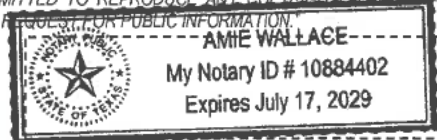
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KRIS SHARP [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 230.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10 DAY OF March, 2026 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF March, 2026

OWNER'S SIGNATURE _____



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES 7-17-29



Z2026-014: Amendment to PD-46

CORPORATE CROSSING

LI

PD-46

276

C

SFE-1.5

SF-10

PD-45

SIFM 549

AG

PD-82

549

PD-95

AG

SFE-4

AG

Case Location Map =



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

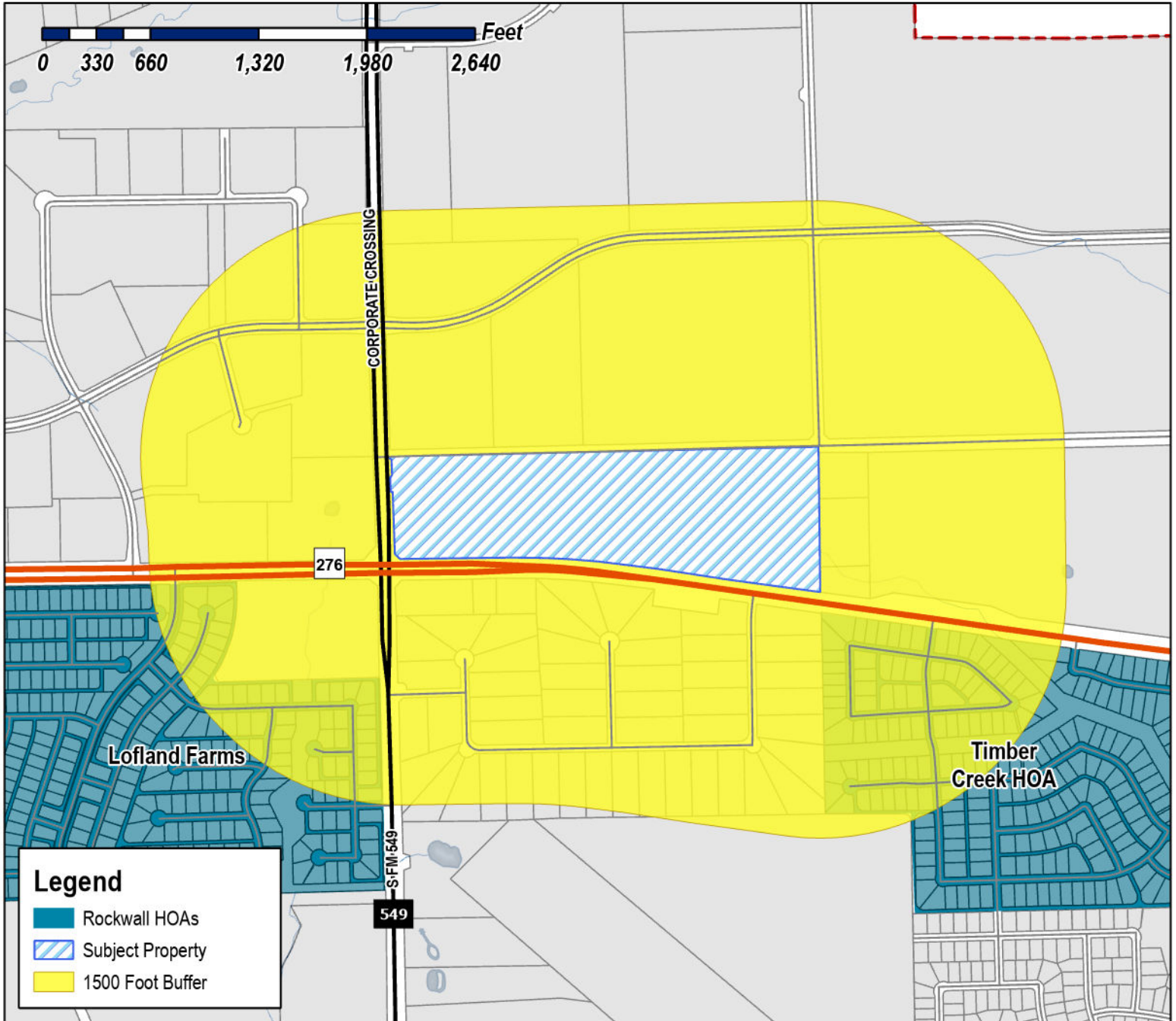




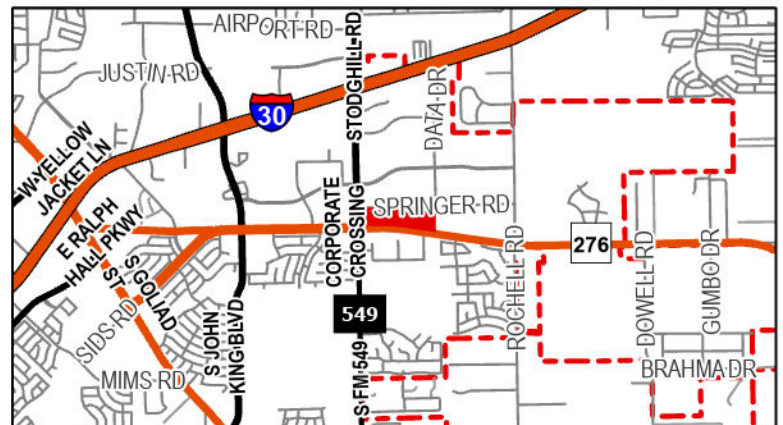
City of Rockwall

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Case Number: Z2026-014
Case Name: Amendment to PD-46
Case Type: Zoning
Zoning: Planned Development District 46 (PD-46)
Case Address: Springer Road



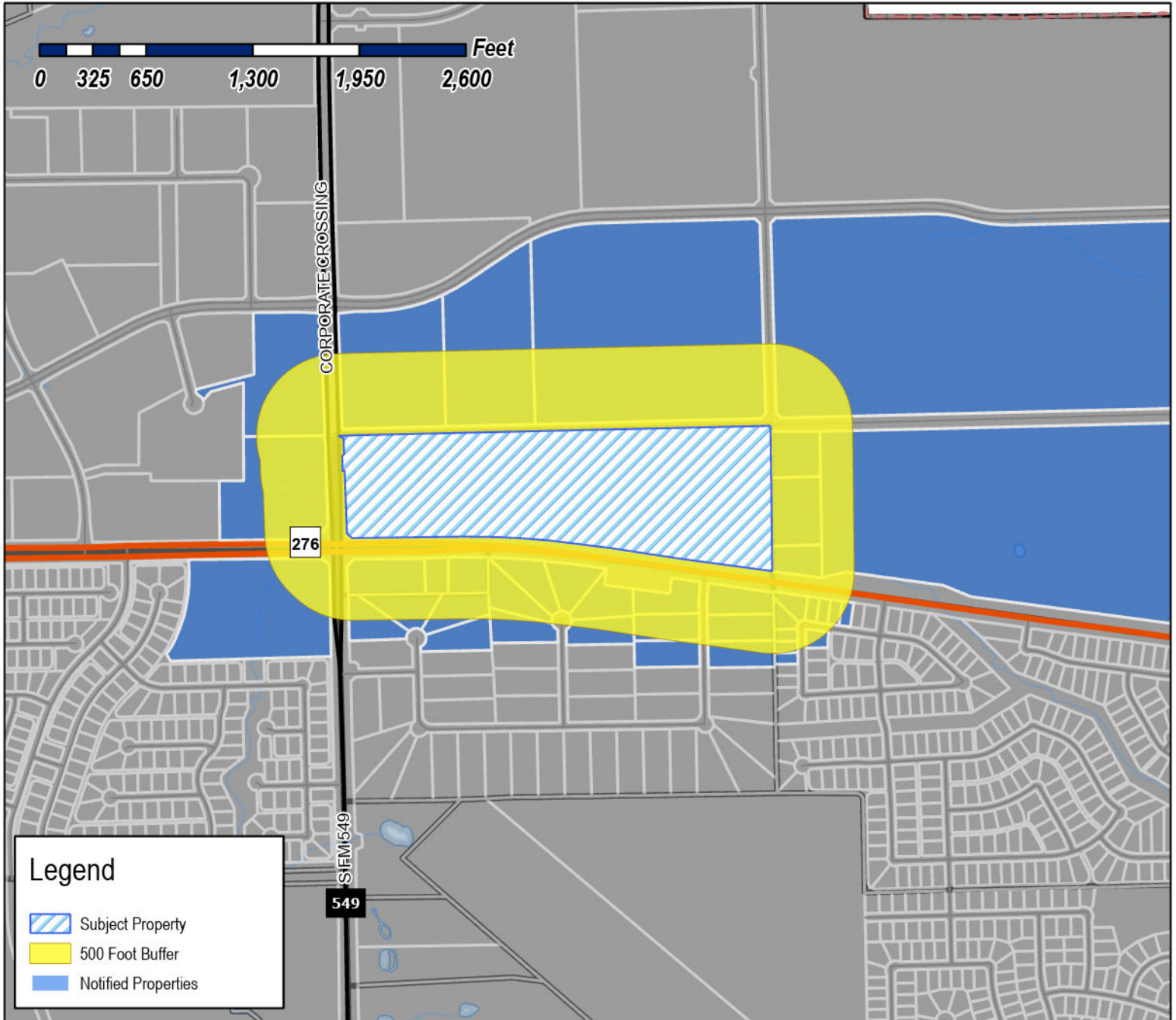
Date Saved: 3/16/2026
 For Questions on this Case Call (972) 771-7745



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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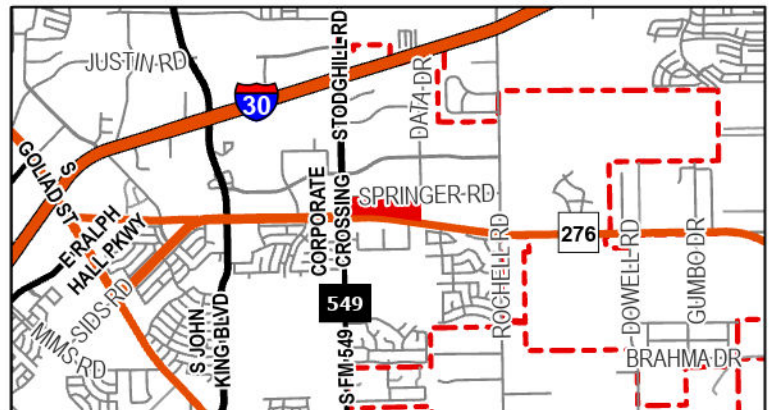
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Case Number: Z2026-014
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Case Address: Springer Road

Date Saved: 3/16/2026

For Questions on this Case Call: (972) 771-7745



EXETER 2975 DISCOVERY, LP
100 W Matsonford Rd Ste 5-250
Wayne, PA 19087

HUDACK STEVE V AND AILEEN J
1090 VINTAGE COURT
VACAVILLE, CA 95688

DFW DISTRIBUTOR,
PETROLEUM INC.
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

DFW DISTRIBUTOR PETROLEUM INC
1111 N BELTLINE RD STE #100
GARLAND, TX 75040

FOLEY US LANDCO LLC
1260 THATCH PALM DR
BOCA RATON, FL 33432

RESIDENT
1275 CORPORATE CROSSING
ROCKWALL, TX 75087

ALLEN FOODS INC
C/O RYAN LLC, AGENT FOR BIMBO BAKERIES
USA
13155 Noel Rd Ste 100
Dallas, TX 75240

AGREE LIMITED PARTNERSHIP
SUNBELT RENTALS, INC. STORE# 272
1799 Innovation Pt ATTN; PROPERTY TAX DEPT.
Fort Mill, SC 29715

ABLES NORRIS BRADLEY
1855 SILVER VIEW LN
ROCKWALL, TX 75032

RAMIREZ JUAN
1858 SILVER VIEW LN
ROCKWALL, TX 75032

JOHNSON DAVID A AND PHYLLIS D
1890 COPPER RIDGE CIR
ROCKWALL, TX 75032

DE RUSSE MARIA NICOLE AND REUBEN DANIEL
1895 COPPER RIDGE CIR
ROCKWALL, TX 75032

ARCHER RANDY G & YOWAREE
1900 COPPER RIDGE CIR
ROCKWALL, TX 75032

LITTLE CHRISTOPHER MATTHEW
1905 COPPER RIDGE CIR
ROCKWALL, TX 75032

MINOR MORRIS & NORA A
1908 STERLING CT
ROCKWALL, TX 75032

VANZANDT CINTHYA MARISOL
1910 COPPER RIDGE CR
ROCKWALL, TX 75032

BALLOUT 7 LLC
1910 OAK POINT DRIVE
ALLEN, TX 75013

SCOTT SUSAN
1910 SILVER VIEW LN
ROCKWALL, TX 75032

RESIDENT
1913 STERLING CT
ROCKWALL, TX 75087

WILLESS WAYNE & PRISCILLA K
1915 COPPER RIDGE CIR
ROCKWALL, TX 75032

BRYANT DAWN
1915 SILVER VIEW LN
ROCKWALL, TX 75032

SANCHEZ JOSE L
1918 STERLING CT
ROCKWALL, TX 75032

MEJIA BLAS & LUISA
1921 STERLING CT
ROCKWALL, TX 75032

BARENOS CYNTHIA
1924 EVERGREEN DR
ROCKWALL, TX 75032

PRADO JESSE E & CYNTHIA G
1930 EVERGREEN DRIVE
ROCKWALL, TX 75032

ROSALES LUIS & JACKELINE
1930 SILVER VIEW LN
ROCKWALL, TX 75032

LOZANO OSCAR & DIANA
1935 EVERGREEN DR
ROCKWALL, TX 75032

QUINTON JAMES D
1935 SILVER VIEW LN
ROCKWALL, TX 75032

RESIDENT
1936 EVERGREEN DR
ROCKWALL, TX 75087

SCHMIESING ALBERT W & BERTHA N
1942 EVERGREEN DRIVE
ROCKWALL, TX 75032

THE THREE HOLY YOUTH COPTIC ORTHODOX
CHURCH
2 RIVERWAY STE 1770
DALLAS, TX 75218

RESIDENT
2205 HWY 276
ROCKWALL, TX 75087

RESIDENT
2301 HWY276
ROCKWALL, TX 75087

THE THREE HOLY YOUTH COPTIC ORTHODOX
CHURCH
2 RIVERWAY STE 1770
GARLAND, TX 75049

RESIDENT
2210 STATE HWY 276
ROCKWALL, TX 75087

RESIDENT
2305 HWY276
ROCKWALL, TX 75087

NBN COMMERCIAL GROUP LLC
2040 N Belt Line Rd Ste 400
Mesquite, TX 75150

RESIDENT
2245 HWY276
ROCKWALL, TX 75087

TOMMY'S MOBILE BOAT & MOTOR SERVICE, INC
2315 STATE HIGHWAY 276
ROCKWALL, TX 75032

VALENZUELA MOISES BENEDICTO AND MARIA
ANTONIETA
2445 DORRINGTON DR
DALLAS, TX 75228

RESIDENT
2578 HWY276
ROCKWALL, TX 75087

VACPARTS WAREHOUSE COM LLC
2578 STATE HWY 276
ROCKWALL, TX 75032

RESIDENT
2582 HWY276 RD
ROCKWALL, TX 75087

RESIDENT
2640 HWY276
ROCKWALL, TX 75087

RESIDENT
2690 HWY276
ROCKWALL, TX 75087

SHARP RICK
2740 State Highway 276 Ste 100 # Set
Rockwall, TX 75032

RESIDENT
2754 HWY276
ROCKWALL, TX 75087

RESIDENT
2975 DISCOVERY BLVD
ROCKWALL, TX 75087

5 SHARP REAL ESTATE LLC
3021 RIDGE RD #160
ROCKWALL, TX 75032

RESIDENT
3055 DISCOVERY BLVD
ROCKWALL, TX 75087

GARZA CESAR AND ANA MARIE
3129 FONTANA BLVD
ROCKWALL, TX 75032

PRBS PROPERTIES LLC
3216 HUNTER LANE
PLANO, TX 75093

RESIDENT
3225 SPRINGER LN
ROCKWALL, TX 75087

XCELON DEVELOPEMENT LLC
3225 McLeod Dr Ste 100
Las Vegas, NV 89121

RESIDENT
3285 SPRINGER RD
ROCKWALL, TX 75087

VILLALPANDO URIEL AND DIANNE
3414 BERMUDA DRIVE
ROWLETT, TX 75088

RESIDENT
3465 SPRINGER RD
ROCKWALL, TX 75087

RESIDENT
3475 SPRINGER RD
ROCKWALL, TX 75087

SKIPPER JOSEPH AND
STEPHANIE BREANNE SKIPPER
3484 HAWTHORNE TRAIL
ROCKWALL, TX 75032

RESIDENT
3490 HAWTHORNE TR
ROCKWALL, TX 75087

URBINA MARIPAZ
3496 HAWTHORNE TRL
ROCKWALL, TX 75032

CPIV-354 RANCH TRAIL LLC
354/356 RANCH TRL
ROCKWALL, TX 75032

RESIDENT
3602 HAWTHORNE TR
ROCKWALL, TX 75087

RESIDENT
3608 HAWTHORNE TR
ROCKWALL, TX 75087

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

DIXON TERRY STERLING III
515 Millbrook Blvd
San Marcos, TX 78666

MCPF1-4 TX 276 LLC
5151 BELT LINE RD STE 725
ROCKWALL, TX 75087

2305 STATE HWY 276 LLC
709 W RUSK ST STE 112
ROCKWALL, TX 75087

BLACKLAND WATER CORP
ATTN ADA JO PHILLIPS
PO BOX 215
FATE, TX 75132

LATTIMORE MATERIALS COMPANY LP
PO BOX 2469
ADDISON, TX 75001

ALMO INVESTMENT II LTD
PO BOX 2599
WAXAHACHIE, TX 75168

LYNSTAR LLC
PO BOX 847
ROCKWALL, TX 75087

COLIN-G PROPERTIES INC
PO BOX 847
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2026-014: Amendment to PD-46

Hold a public hearing to discuss and consider a request by Kris Sharp of 5 Sharp Real Estate, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [Ordinance No. 25-12] being a 47.37-acre tract of land situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 46 (PD-46) for Commercial (C) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, generally located at the northeast corner of Corporate Crossing and SH-276, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, April 14, 2026 at 6:00 PM, and the City Council will hold a public hearing on Monday, April 20, 2026 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, April 20, 2026 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2026-014: Amendment to PD-46

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



March 10, 2026

City of Rockwall
Planning and Zoning
385 S. Goliad Street
Rockwall, Tx. 75087

Re: Rezoning Request – 3301 Springer Rd., Rockwall 75032

To Whom it May Concern,

The subject property is currently zoned PD-46 for Commercial District land use. We are requesting Outside Storage as a permitted land use on the property.

Regards,

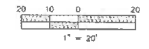
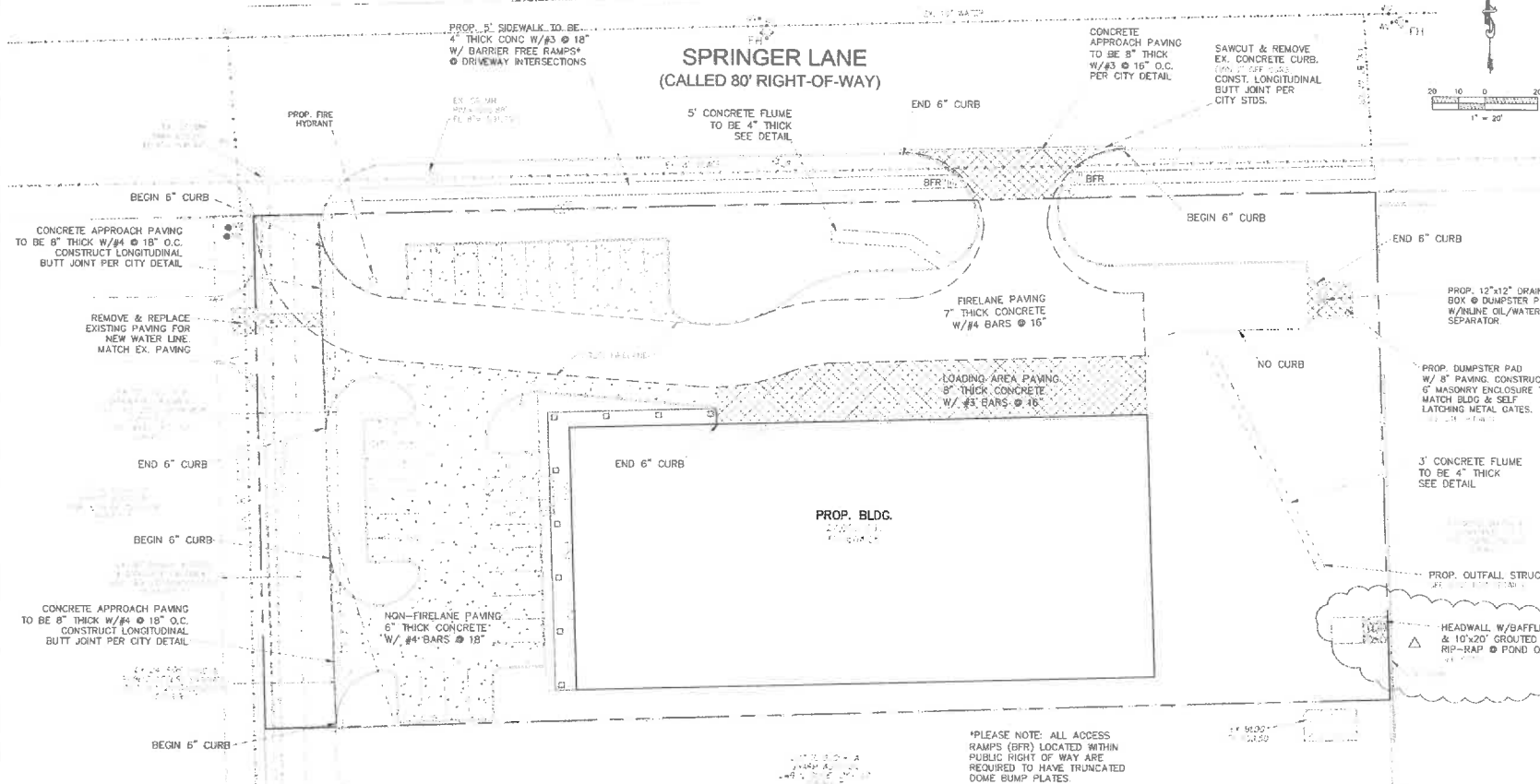
A handwritten signature in black ink, appearing to read 'Amie Wallace', is written over the typed name.

Amie Wallace
Chief Admin Officer
Sharp Insulation

SHARP INSULATION CO., LLC

Office 972.772.7411
3021 Ridge Road #160 | Rockwall, TX 75032

**SPRINGER LANE
(CALLED 80' RIGHT-OF-WAY)**



LEGEND

1. CONCRETE PAVING

2. FIRELANE PAVING

3. NON-FIRELANE PAVING

4. CONCRETE CURB

5. CONCRETE FLUME

6. CONCRETE APPROACH PAVING

7. CONCRETE SIDEWALK

8. CONCRETE DRAIN BOX

9. CONCRETE DUMPSTER PAD

10. CONCRETE OUTFALL STRUCTURE

11. CONCRETE HEADWALL

12. CONCRETE RIP-RAP

13. CONCRETE BARRIER FREE RAMP

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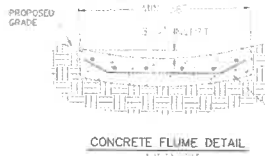
- PAVING NOTES:**
- 1) APPROACHES & LOADING DOCK TO BE 8" THICK, 4200 psi, 7.5 SACK MIX, REINFORCED WITH #3 BARS @ 16" ON CENTER, (O.C.)
 - 2) FIRELANE TO BE 7" THICK, 3500 psi, 6.5 SACK MIX, REINFORCED WITH #4 BARS @ 16" ON CENTER, (O.C.)
 - 3) DUMPSTER PAD TO BE 7" THICK, 3500 psi, 6.5 SACK MIX, REINFORCED WITH #4 BARS @ 18" ON CENTER, (O.C.)
 - 4) ALL OTHER (NON-FIRELANE) PAVING CAN BE 6" THICK, 3500 psi, 6 SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
 - 5) ALL FILL (IF REQUIRED) SHALL BE PLACED ON 6" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
 - 6) SIDEWALK TO BE 4" THICK CONCRETE, 3500 psi, 6 SACK MIX IN 2" DIA. W/ #4 BARS @ 24" O.C.
 - 7) NO SAND UNDER PAVING.
 - 8) NO PAVING, INCLUDING SLUR, TO BE INSTALLED UNTIL THE DETENTION SYSTEM(S) ARE FULLY INSTALLED FUNCTIONALLY, PER PLAN & HAVE ANCHORED SECEDED CURLES OR COG ON THE SIDES & BOTTOM OF POND

NOTICE TO CONTRACTORS

THIS DRAWING IS THE PROPERTY OF MONK CONSULTING ENGINEERS, INC. (MCE) AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCE. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. MCE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. MCE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING.

WARNING:

CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS, STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. MCE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING.



RECORD DRAWING 5/13/25

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, WE HAVE PREPARED THIS DRAWING IN ACCORDANCE WITH THE CITY OF ROCKWALL, TEXAS, STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS.

John Monk

MONK CONSULTING ENGINEERS, INC.



CASE #SP2021-000

PAVING PLAN

SHARP INSULATION

SHARP ADDITION
LOT 6, BLOCK 4, 1.08 ACRES
City of Rockwall, Rockwall County, Texas

SHARP INSULATION
2578 HWY 276, ROCKWALL, TEXAS 75087
(214) 982-9688

MONK CONSULTING ENGINEERS, INC.
1200 W. STATE STREET, CARROLLTON, TEXAS 75006
972-272-4763 Fax 972-272-8767

DATE: 11/15/24

SCALE: AS SHOWN

C101A

19 TECHNOLOGY DISTRICT

DISTRICT DESCRIPTION

The *Technology District* is primarily characterized as an employment heavy district containing all phases of the Rockwall Economic Development Corporation's (REDC's) Technology Park, which supports a wide range of clean industrial businesses that help to diversify the City's tax base. This area benefits from easy access to IH-30 from John King Boulevard, Corporate Crossing, and SH-276 via SH-205. The district also contains a mixture of high to medium density residential land uses and several additional large vacant tracts of land that are entitled for low density residential land uses. The commercial areas adjacent to SH-276 contain a mixture of transitional uses and land uses targeted at supporting the existing and anticipated residential land uses. In the future, the *Technology District* is anticipated to continue to provide a mix of non-retail commercial and an assortment of housing options that will provide a balance with regard to the City's economic base and population.

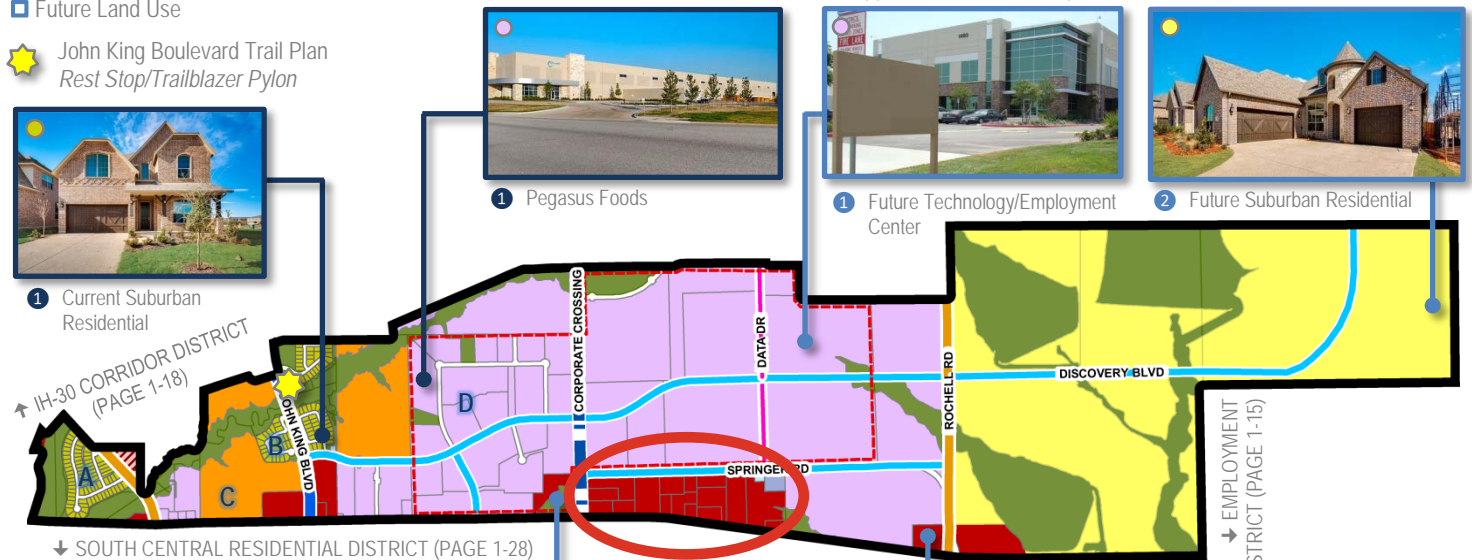
POINTS OF REFERENCE

- A. Townsend Village Subdivision
- B. Rockwall Downes Subdivision
- C. Sixteen 50 @ Lake Ray Hubbard Apartment Complex
- D. Rockwall Economic Development Corporation's Technology Park

LAND USE PALETTES

- Current Land Use
- Future Land Use

★ John King Boulevard Trail Plan
Rest Stop/Trailblazer Pylon

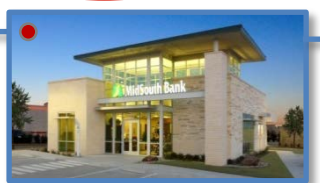


DISTRICT STRATEGIES

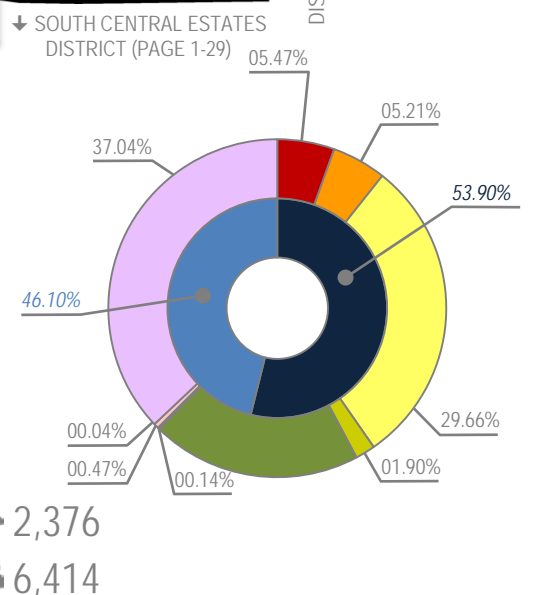
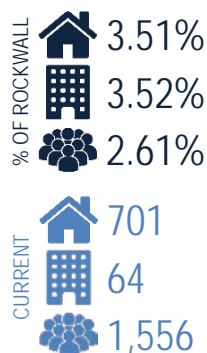
Considering the existing composition and future intent of the *Technology District*, the following are the strategies for this district:

- 1 **Technology/Employment Center.** Taking into consideration the City's desire to preserve the current residential to non-residential land use ratio, encroachment of incompatible land uses (e.g. residential, commercial, etc.) should be discouraged in areas designated for *Technology/Employment Center* land uses. This is especially important in the City's Technology Park, which is denoted in a red dashed line (---). These areas should be preserved for larger clean industrial businesses that can help to diversify the City's tax base. The areas adjacent to Rochelle Road should utilize large buffers, berms and landscaping to off-set adjacency to the residential areas on the east side of Rochelle Road.
- 2 **Suburban Residential.** The low density residential land uses on the east side of Rochelle Road should be large master planned communities that incorporate a mixture of lot types and housing products to create unique subdivisions of enduring value. These areas should be highly amenitized and utilize the existing floodplain/ponds for a robust trail and park system.
- 3 **Neighborhood/Convenience Centers.** The commercial in this district is intended to support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures. In addition, these properties should use berms, landscaping and large buffers to transition to residential land uses. The existing transitional areas adjacent to SH-276 should be transition to neighborhood/convenience centers in the future.
- 4 **John King Boulevard Trail Plan.** A ten (10) foot hike/bike trail should be incorporated along John King Boulevard with rest stops and signage as indicated in *Appendix 'A'* of this Comprehensive Plan.

| Land Use Category | Percentage | Acres |
|------------------------------------|------------|--------------|
| COMMERCIAL | 53.90% | |
| RESIDENTIAL | 46.10% | |
| MIXED USE | 0.00% | |
| COMMERCIAL/RETAIL (CR) | | 78.42-ACRES |
| HIGH DENSITY RESIDENTIAL (HDR) | | 74.61-ACRES |
| LOW DENSITY RESIDENTIAL (LDR) | | 425.14-ACRES |
| MEDIUM DENSITY RESIDENTIAL (MDR) | | 27.22-ACRES |
| PARKS AND OPEN SPACE (OS) | | 287.78-ACRES |
| PUBLIC (P) | | 1.95-ACRES |
| QUASI-PUBLIC (QP) | | 0.61-ACRES |
| SPECIAL COMMERCIAL CORRIDOR (SC) | | 6.76-ACRES |
| TECHNOLOGY/EMPLOYMENT CENTER (TEC) | | 530.85-ACRES |



3 Future Neighborhood/Convenience Centers



CITY OF ROCKWALL

ORDINANCE NO. 25-12

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [ORDINANCE NO. 21-32] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46), BEING A 47.37-ACRE TRACT OF LAND SITUATED WITHIN THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Trenton Austin of GT Plumbing Services, LLC on behalf of Tim Connolly of Connolly Squared, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [Ordinance No. 21-32] for the purpose of allowing *Building Maintenance, Sales, and Service with Outside Storage* as a permitted land use on a 1.00-acre parcel of land identified as Tract 2-8, Abstract No. 186, of the J. A. Ramsey Addition being a portion of a larger 47.37-acre Planned Development District that is situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 46 (PD-46) [Ordinance No. 99-05], which is more fully described and depicted in *Exhibit 'A'* of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 46 (PD-46) [Ordinance No. 21-32] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No 21-32*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

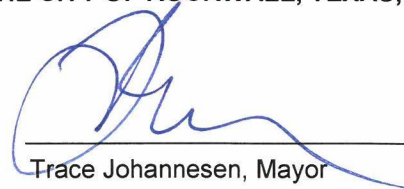
SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

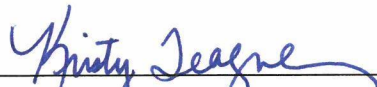
SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [*Ordinance No. 04-38*] of any provision of the *City Code*, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [*Ordinance No. 04-38*] (*including references to the Unified Development Code*), and references to overlay districts, in this ordinance or any of the *Exhibits* hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 3RD DAY OF MARCH, 2025.



Trace Johannesen, Mayor

ATTEST:


Kristy Teague, City Secretary



APPROVED AS TO FORM:


Frank J. Garza, City Attorney

1st Reading: February 18, 2025

2nd Reading: March 3, 2025

EXHIBIT 'A':
Legal Description and Survey

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the *POINT OF BEGINNING*;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

THENCE North 89° 48' 28" East, a distance of 2,660.985 feet, to the *POINT OF BEGINNING AND CONTAINING* 47.37 acres of land (2,063,262.886 square feet) more or less.

EXHIBIT 'A':
Legal Description and Survey

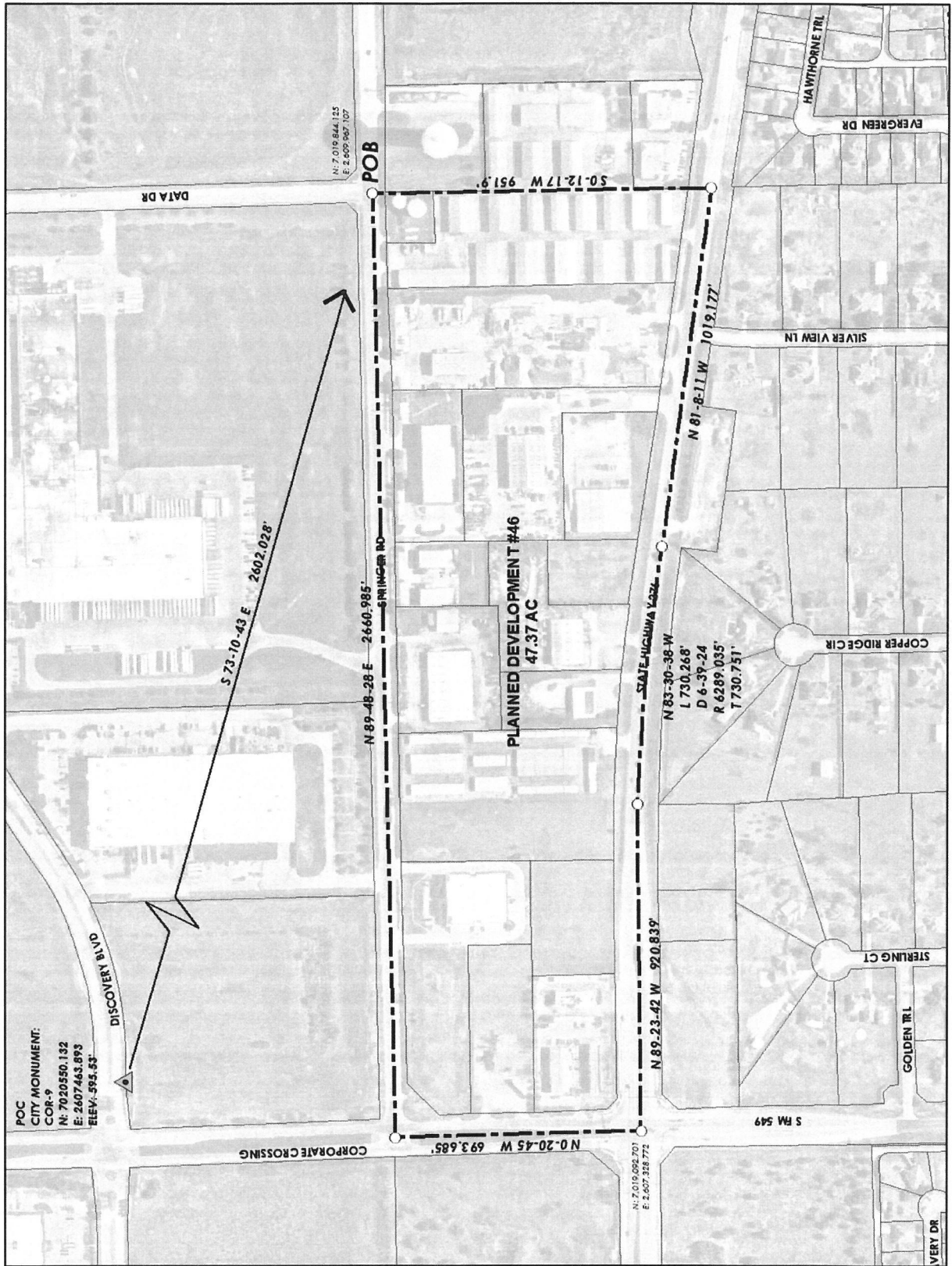


EXHIBIT 'B':
Concept Plan

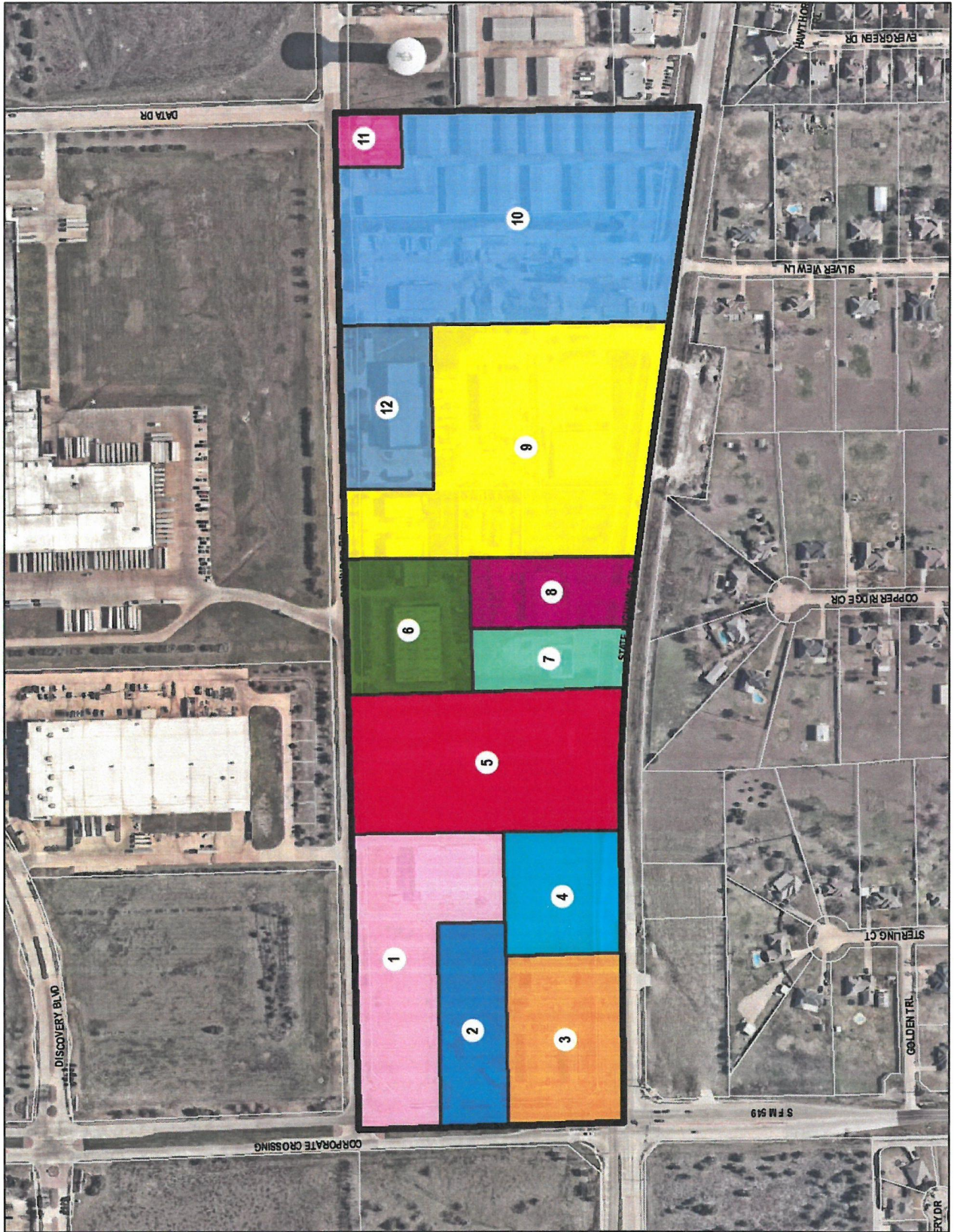


EXHIBIT 'C':
PD Development Standards

(A) Purpose. The purpose of this amendment to Planned Development District 46 (PD-46) is to supersede *Ordinance No. 21-32*; however, this ordinance does not change the intent, restrictions, or land uses established in *Ordinance No. 21-32* with the exception of adding the *Building Maintenance, Service, and Sales with Outside Storage* land use to *Tract 7* as depicted in *Exhibit 'B'* of this ordinance.

(B) Permitted Land Uses. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the permitted land uses stipulated for properties in a Commercial (C) District as specified in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be permitted *by-right* on the corresponding tract:

(1) Tract 3 [Tract 2, Lot 02].

- Minor Automotive Repair Garage

(2) Tract 5 [Tract 2, Lot 06].

- Mini-Warehouse

(3) Tract 6 [Tract 2, Lot 03].

- Heavy Construction/Trade Yard

(4) Tract 7 [Tract 2, Lot 08].

- Building Maintenance, Service, and Sales with Outside Storage¹

NOTES

¹: The *Building Maintenance, Service, and Sales with Outside Storage* shall be subject to the following *Conditional Land Use Standards*:

- (1) All outside storage shall comply with the exhibit in Figure 1 below.
- (2) Heavy Equipment (*i.e. Tractor Machinery*) shall be permitted to be store on gravel; however, the storage of trucks, trailers, Conex boxes, or any other outside storage shall be on a concrete surface.
- (3) All outside storage shall be situated behind the building and not be visible from SH-276.
- (4) The outside storage areas shall be reviewed for visibility by the Planning and Zoning Commission at the time of site plan. Additional landscape screening may be required by the Planning and Zoning Commission and/or staff at the time of site plan approval.
- (5) All unpermitted improvements shall be removed from the property prior to site plan approval.

FIGURE 1. CONCEPT PLAN FOR 2305 SH-276



RED: OUTSIDE STORAGE AREA; **BLUE:** STORAGE OF SERVICE TRUCKS; **GREEN:** FUTURE BUILDING EXPANSION

(5) Tract 8 [Tract 2, Lot 07].

EXHIBIT 'C':
PD Development Standards

- New or Used Boat Dealership

(6) Tract 9 [A Portion of Tract 2, Lot 00].

- Trucking Company

(7) Tract 10 [Tract 2, Lot 13].

- Concrete Batch Plant
- Mini-Warehouse

(8) Tract 12 [A Portion of Tract 2, Lot 00].

- Warehouse

(C) Dimensional Requirements. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the dimensional requirements stipulated for properties in a Commercial (C) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(D) Legal Non-Conforming Status. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be allowed to maintain the same exterior building materials that are currently utilized on the existing building for any new buildings that are built; however, if an existing or new building is expanded to an amount that equals 50% of the appraised tax value of that building, the building shall be required to adhere to the requirements of the Commercial (C) District as stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46) [ORDINANCE NO. 25-12] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING PLANNED DEVELOPMENT DISTRICT 46 (PD-46), BEING A 47.37-ACRE TRACT OF LAND SITUATED WITHIN THE J. A. RAMSEY SURVEY, ABSTRACT NO. 186, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kris Sharp of 5 Sharp Real Estate, LLC for the approval of a Zoning Change to amend Planned Development District 46 (PD-46) [Ordinance No. 25-12] for the purpose of allowing *Outside Storage* as a permitted land use on a 1.914-acre parcel of land identified as Lot 5, Block A, Sharp Addition being a portion of a larger 47.37-acre Planned Development District that is situated within the J. A. Ramsey Survey, Abstract No. 186, City of Rockwall, Rockwall County, Texas, identified as Planned Development District 46 (PD-46) [Ordinance No. 99-05], which is more fully described and depicted in *Exhibit 'A'* of this ordinance, and hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 46 (PD-46) [Ordinance No. 25-12] and the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No 25-12*;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes authorized by this Planned Development District Ordinance and the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

SECTION 3. That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 4. That development of the *Subject Property* shall generally be in accordance with the *PD Development Standards*, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*;

SECTION 5. That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.

SECTION 6. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 7. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 04-38], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 8. The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [Ordinance No. 04-38] of any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [Ordinance No. 04-38] (including references to the Unified Development Code), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

SECTION 9. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 4TH DAY OF MAY, 2026.

Tim McCallum, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: April 20, 2026

2nd Reading: May 4, 2026

EXHIBIT 'A':
Legal Description and Survey

BEING 47.37 acres of land situated in the Abstract 186, J.A. Ramsey Survey in the County of Rockwall, Texas and being more particularly described by metes and bounds as follows:

COMMENCING at a point in the south Right of Way of Discovery Blvd, at City Geodetic Control Monument #9. (NAD83 Texas State Plane GPS Coordinate: 2,607,463.893 E, 7,020,550.132 N feet) bearing South 73° 10' 43" East, a distance of 2,602.028 feet to the *POINT OF BEGINNING*;

BEGINNING at a point in the intersection of Springer Rd and Data Dr. (NAD83 Texas State Plane GPS Coordinate: 2,609,967.107 E, 7,019,844.125N feet);

THENCE South 00° 12' 17" West following the Eastern boundary line of Planned Development #46, a distance of 951.9 feet for a corner;

THENCE North 81° 8' 11" West, a distance of 1,019.177 feet to the beginning of a curve found in the centerline of State Highway 276, said being the beginning of a curve to the left having a tangent of 730.751 feet and a radius of 6,289.035 feet with a chord distance of 730.268 feet and a chord bearing of North 83 degrees 30 minutes 38 seconds West to a point;

THENCE North 89° 23' 42" West, a distance of 920.839 feet for a corner;

THENCE North 0° 20' 45" West, a distance of 693.685 feet for a corner;

THENCE North 89° 48' 28" East, a distance of 2,660.985 feet, to the *POINT OF BEGINNING AND CONTAINING* 47.37 acres of land (2,063,262.886 square feet) more or less.

EXHIBIT 'A':
Legal Description and Survey

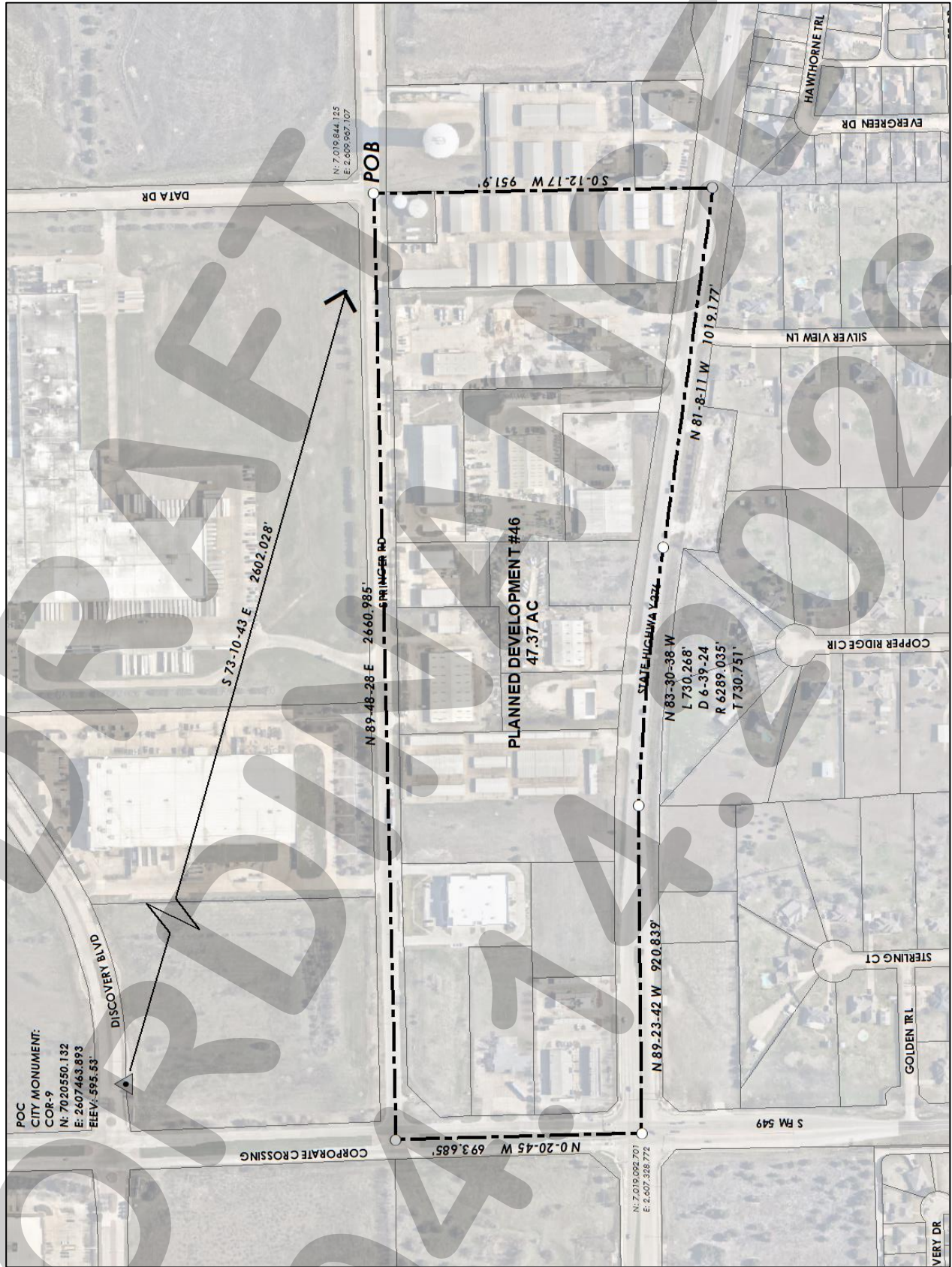


EXHIBIT 'B':
Concept Plan

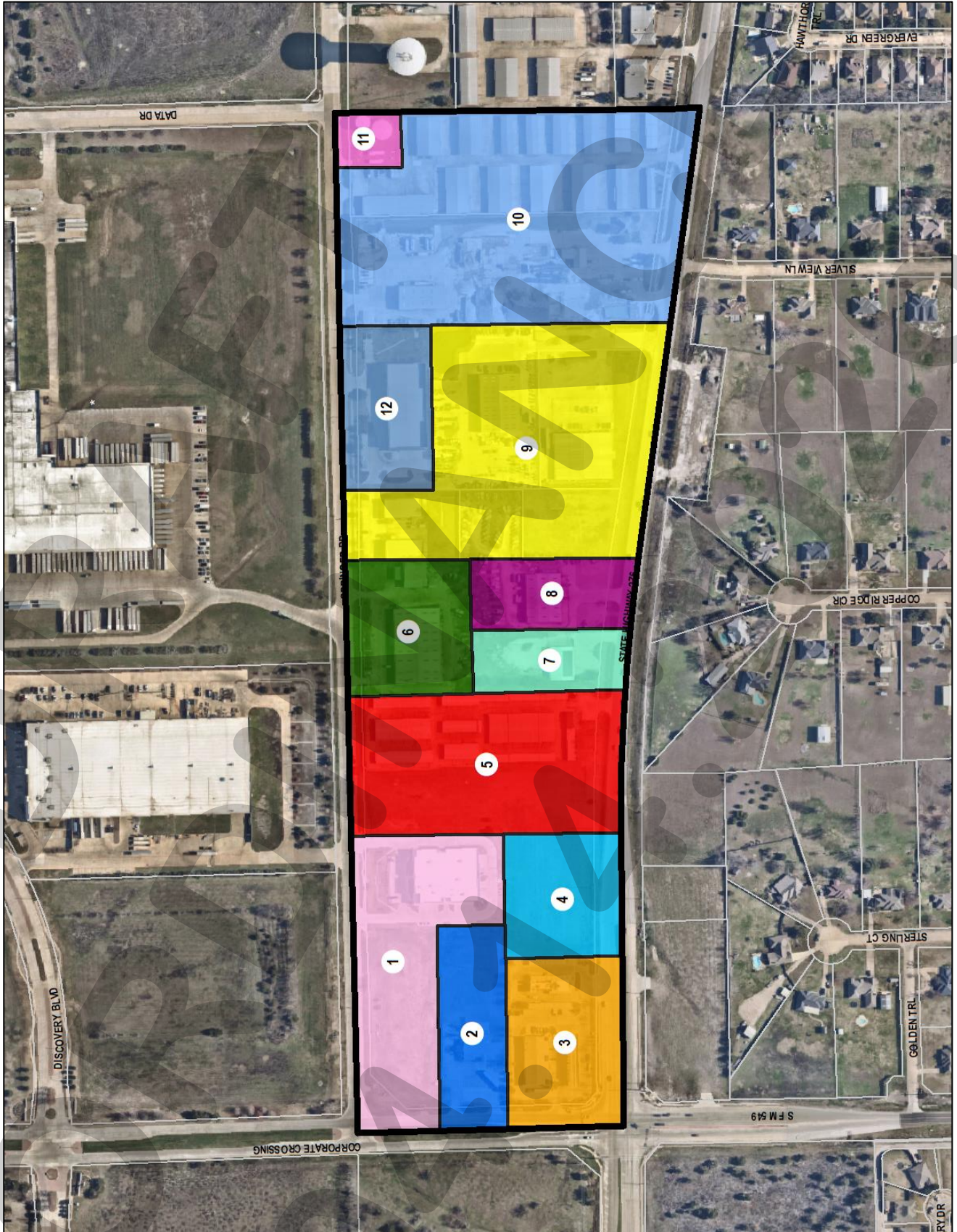


EXHIBIT 'C':
PD Development Standards

- (A) Purpose. The purpose of this amendment to Planned Development District 46 (PD-46) is to supersede *Ordinance No. 21-32*; however, this ordinance does not change the intent, restrictions, or land uses established in *Ordinance No. 21-32* with the exception of adding the *Building Maintenance, Service, and Sales with Outside Storage* land use to *Tract 7* as depicted in *Exhibit 'B'* of this ordinance.
- (B) Permitted Land Uses. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the permitted land uses stipulated for properties in a Commercial (C) District as specified in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future; however, the following land uses shall be permitted *by-right* on the corresponding tract:

(1) Tract 3 [Tract 2, Lot 02].

- Minor Automotive Repair Garage

(2) Tract 5 [Tract 2, Lot 06].

- Mini-Warehouse

(3) Tract 6 [Tract 2, Lot 03].

- Heavy Construction/Trade Yard

(4) Tract 7 [Tract 2, Lot 08].

- Building Maintenance, Service, and Sales with Outside Storage ⁽¹⁾

NOTES

¹: The *Building Maintenance, Service, and Sales with Outside Storage* shall be subject to the following *Conditional Land Use Standards*:

- (1) All outside storage shall comply with the exhibit in *Figure 1* below.
- (2) Heavy Equipment (*i.e. Track Machinery*) shall be permitted to be store on gravel; however, the storage of trucks, trailers, Conex boxes, or any other outside storage shall be on a concrete surface.
- (3) All outside storage shall be situated behind the building and not be visible from SH-276.
- (4) The outside storage areas shall be reviewed for visibility by the Planning and Zoning Commission at the time of site plan. Additional landscape screening may be required by the Planning and Zoning Commission and/or staff at the time of site plan approval.
- (5) All unpermitted improvements shall be removed from the property prior to site plan approval.

FIGURE 1. CONCEPT PLAN FOR 2305 SH-276



RED: OUTSIDE STORAGE AREA; **BLUE:** STORAGE OF SERVICE TRUCKS; **GREEN:** FUTURE BUILDING EXPANSION

(5) Tract 8 [Tract 2, Lot 07].

EXHIBIT 'C':
PD Development Standards

- New or Used Boat Dealership

(6) Tract 9 [A Portion of Tract 2, Lot 00].

- Trucking Company

(7) Tract 10 [Tract 2, Lot 13].

- Concrete Batch Plant
- Mini-Warehouse

(8) Tract 12 [A Portion of Tract 2, Lot 00].

- Warehouse
- Outside Storage ⁽¹⁾

NOTES

¹: The *Outside Storage* shall be subject to the following *Conditional Land Use Standards*:

- (1) *Outside Storage* shall only be permitted in areas designated on a *Site Plan*.
- (2) *Outside Storage* shall be visibly screened from the right-of-way (ROW) and all adjacent properties.

(C) Dimensional Requirements. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be subject to the dimensional requirements stipulated for properties in a Commercial (C) District as specified in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.

(D) Legal Non-Conforming Status. All properties within the boundaries of this Planned Development District as depicted in *Exhibit 'B'* of this ordinance shall be allowed to maintain the same exterior building materials that are currently utilized on the existing building for any new buildings that are built; however, if an existing or new building is expanded to an amount that equals 50% of the appraised tax value of that building, the building shall be required to adhere to the requirements of the Commercial (C) District as stipulated in Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Ryan Miller, *Director of Planning and Zoning*
DATE: April 14, 2026
SUBJECT: Z2026-012; *Fee Schedule Update*

The current *Fee Schedule* for development related application fees was adopted on June 6, 2005 by *Resolution 05-22*. Since that time, the City has experienced significant growth in both development activity and administrative complexity associated with processing applications, conducting technical reviews, and facilitating public hearings. Despite these changes, the *Fee Schedule* has not been comprehensively updated to reflect current costs or to be comparable to the City's market cities.

Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) established that development related fees are intended solely to recover the administrative costs associated with processing applications, advertising zoning requests, and conducting the required public hearings, and are not intended to generate revenue beyond cost recovery. Based on staff's review, the City's current fee structure is substantially short of recovering the actual administrative costs associated with processing and administering development related cases. In addition, the existing fees are significantly lower than those of comparable municipalities.

To evaluate and compare the City's current fees, staff conducted a survey of peer and market-area cities. The results of this analysis demonstrate that the City of Rockwall's current fees -- *while not always being the lowest* -- are consistently below those of surrounding jurisdictions for similar application types. This disparity indicates that the City is not fully recovering the administrative costs associated with development review and related administrative processes associated with development cases. In addition, it is worth noting that the costs associated with notifications and advertising have significantly increased over the past 20-years. Specifically, the cost of postage has increased from \$0.37 in 2005 to \$0.78 in 2025 (*i.e. an increase of 110.81%*). In addition, staff estimates the average cost per caption for a newspaper notice -- *which is required by State Law for all zoning related cases* -- to be between \$85.34 – \$194.18 (*or an average per caption price of \$109.84*) [*estimated over the last six (6) newspaper notices*].

To correct the disparities in cost, staff is proposing a comprehensive update to the *Fee Schedule* that will better align with current market conditions and administrative cost recovery objectives. The proposed adjustments are outlined in the attached *Fee Schedule Comparison*. In general, the proposed revisions maintain the existing fee structure and methodology (*including a base fee and acreage-based calculation*), while increasing and standardizing the fee amounts to levels more consistent with peer cities and current operational demands. Staff should note, that the proposed *Fee Schedule* does make a distinction between applications for residential and non-residential Specific Use Permits (SUPs) and variances. This was done to ensure that the costs that citizens are expected to pay is significantly less than the costs developers and businesses are expected to pay.

During the *Work Session Meeting* on March 31, 2026, the Planning and Zoning Commission recommended to staff that [1] the fee for variances for residential properties be lowered from \$200.00 to \$100.00, and [2] that a notification fee be established in addition to the base fee for all cases that require public notification. Based on this, staff has logged all notification fees associated with development cases over the past year and determined that the average fee for notification (*i.e. newspaper and property owner notifications*) was \$149.78. Based on this, staff is proposing a notification fee of \$150.00 that will be assessed in addition to the base application fee for all cases that require public notification. Staff also lowered the fees associated with variances for residential properties in accordance with the Planning and Zoning Commission's recommendation.

In accordance with Subsection 02.01(C) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), the Director of Planning and Zoning is bringing forward the proposed text amendment to the City Council for consideration, and -- *in accordance with Section 02.04(B) of Article 11, Development Applications and Review*

Procedures, of the Unified Development Code (UDC) -- the Director is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council.

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC). Should the Planning and Zoning Commission have any questions staff will be available at the meeting on April 14, 2026.



- (F) If such a request will be in harmony with the spirit and intent of the Unified Development Code (UDC), Comprehensive Plan, and/or other City policies.
- (G) If such a request will alter the essential character of the district in which the subject property is located.
- (H) If such a request will substantially weaken the general purpose of the zoning requirements established for the district in which the subject property is located.

SECTION 10 | FEE SCHEDULE

- (A) Establishment of Fees. Fees for all development related applications in the City of Rockwall shall be established by the City Council upon recommendation of the City Council. Such fees shall be for the sole purpose of recovering the administrative cost of processing development applications, advertising zoning requests, and holding public hearings required by this Article. Such fee shall not be designed to generate revenue for the City other than recovery of actual administrative costs.
- (B) Fees. The fees for development related applications in the City of Rockwall shall be as follows:

| | |
|--|--|
| (1) PLATTING | |
| (a) Master Plat | \$400 500.00 + \$4520.00/Acre |
| (b) Preliminary Plat | \$200 500.00 + \$4520.00/Acre |
| (c) Final Plat | \$300 500.00 + \$20.00/Acre |
| (d) Replat ⁽²⁾ | \$300 500.00 + \$20.00/Acre |
| (e) Amending or Minor Plat | \$150 500.00 |
| (f) Plat Reinstatement Request | \$100 200.00 |
| (2) SITE PLAN | |
| (a) Site Plan ^{(1) ±} | \$250 1,000.00 + \$20.00/Acre |
| (b) Amended Site Plan | \$400 500.00 |
| (3) ZONING ⁽²⁾ | |
| (a) Zoning Change | \$200 1,000.00 + \$4520.00/Acre |
| (b)(b) Specific Use Permit (SUP) ⁽¹⁾ Specific Use Permit (SUP)* | \$200.00 + \$15.00/Acre |
| Residential Property | \$200.00 + \$20.00/Acre |
| Commercial Property | \$1,000.00 + \$20.00/Acre |
| (c) Planned Development (PD) | \$200 1,500.00 + \$4520.00/Acre |
| (4) MISCELLANEOUS | |
| (a) Variance/Special Exception/Special Requests ^{(1)±} | \$400.00 |
| Residential Property | \$100.00 |
| Commercial Property | \$1,000.00 |
| (b) Treescape Plan/Tree Removal | \$75 200.00 |
| (c) Zoning Verification Letter | \$100.00 |
| (d) Landscape Inspection Fee | |
| First and Second Inspections | \$0.00 |
| Third and Subsequent Inspections | \$500.00/Inspection |
| (e) Other Miscellaneous Requests | \$0.00 |
| (5) BOARD OF ADJUSTMENTS | |
| (a) Variance | \$200.00 |

| | |
|--|----------|
| (b) Appeal of an Administrative Decision | \$200.00 |
| (c) Appeal of a Code Decision | \$200.00 |

| | |
|--|--------|
| (56) HISTORIC PRESERVATION ADVISORY BOARD | |
| (a) Certificate of Appropriateness (COA) | \$0.00 |
| (b) Small Matching Grants | \$0.00 |
| (c) Building Permit Fee Waiver | \$0.00 |

NOTES:
⁽¹⁾: SEE SECTION (D) BELOW.
⁽²⁾: AN ADDITIONAL \$150.00 FEE WILL BE REQUIRED FOR ALL CASES THAT REQUIRE PUBLIC NOTICE TO BE SENT OUT.

(D)(C) Calculation of Fees. Fees that have a scaled fee structure (i.e. that are based on the acreage of the property) are calculated by multiplying the acreage of the property by the scalable fee and adding the base fee. For example, a 5.25-acre property that is requesting a zoning change would be calculated as follows:

$$5.25\text{-acres} \times \$1520.00/\text{Acre} = \$78.75105.00 + \$200800.00 [\text{Base Fee}] = \$278.75905.00 [\text{Fee Due}]$$

Properties that are less than one (1) acre in total size shall be calculated as one (1) acre. No other rounding methods shall be used in the calculation of a fee.

(E)(D) Non-Compliant Structure Fees. Fees associated with requests for a Site Plan, Specific Use Permit (SUP) or a Variance/Special Exception that deal with structures that were [1] constructed without a building permit, or [2] that were *not* constructed in conformance with an approved building permit shall be increased by \$1,0002,500.00. For example, a 5.25-acre residential property that is requesting approval for a Specific Use Permit (SUP) under this section would be calculated as follows:

$$5.25\text{-acres} \times \$1520.00/\text{Acre} = \$78.75105.00 + \$200.00 [\text{Base Fee}] = \$278.75305.00 [\text{Typical Application Fee}] + \$1,0002,500.00 [\text{Forgiveness} - \text{Fee Non-Compliant Structure Fee}] = \$1,278.752,805.00 [\text{Fee Due}]$$



- (F) If such a request will be in harmony with the spirit and intent of the Unified Development Code (UDC), Comprehensive Plan, and/or other City policies.
- (G) If such a request will alter the essential character of the district in which the subject property is located.
- (H) If such a request will substantially weaken the general purpose of the zoning requirements established for the district in which the subject property is located.

SECTION 10 | FEE SCHEDULE

- (A) Establishment of Fees. Fees for all development related applications in the City of Rockwall shall be established by the City Council upon recommendation of the City Council. Such fees shall be for the sole purpose of recovering the administrative cost of processing development applications, advertising zoning requests, and holding public hearings required by this Article. Such fee shall not be designed to generate revenue for the City other than recovery of actual administrative costs.
- (B) Fees. The fees for development related applications in the City of Rockwall shall be as follows:

| | |
|--|---------------------------|
| (1) PLATTING | |
| (a) Master Plat | \$500.00 + \$20.00/Acre |
| (b) Preliminary Plat | \$500.00 + \$20.00/Acre |
| (c) Final Plat | \$500.00 + \$20.00/Acre |
| (d) Replat ⁽²⁾ | \$500.00 + \$20.00/Acre |
| (e) Amending or Minor Plat | \$500.00 |
| (f) Plat Reinstatement Request | \$200.00 |
| (2) SITE PLAN | |
| (a) Site Plan ⁽¹⁾ | \$1,000.00 + \$20.00/Acre |
| (b) Amended Site Plan | \$500.00 |
| (3) ZONING ⁽²⁾ | |
| (a) Zoning Change | \$1,000.00 + \$20.00/Acre |
| (b) Specific Use Permit (SUP) ⁽¹⁾ | |
| Residential Property | \$200.00 + \$20.00/Acre |
| Commercial Property | \$1,000.00 + \$20.00/Acre |
| (c) Planned Development (PD) | \$1,500.00 + \$20.00/Acre |
| (4) MISCELLANEOUS | |
| (a) Variance/Special Exception/Special Requests ⁽¹⁾ | |
| Residential Property | \$100.00 |
| Commercial Property | \$1,000.00 |
| (b) Treescape Plan/Tree Removal | \$200.00 |
| (c) Zoning Verification Letter | \$100.00 |
| (d) Landscape Inspection Fee | |
| First and Second Inspections | \$0.00 |
| Third and Subsequent Inspections | \$500.00/Inspection |
| (5) BOARD OF ADJUSTMENTS | |
| (a) Variance | \$200.00 |
| (b) Appeal of an Administrative Decision | \$200.00 |
| (c) Appeal of a Code Decision | \$200.00 |
| (6) HISTORIC PRESERVATION ADVISORY BOARD | |
| (a) Certificate of Appropriateness (COA) | \$0.00 |
| (b) Small Matching Grants | \$0.00 |
| (c) Building Permit Fee Waiver | \$0.00 |

NOTES:
⁽¹⁾: SEE SECTION (D) BELOW.
⁽²⁾: AN ADDITIONAL \$150.00 FEE WILL BE REQUIRED FOR ALL CASES THAT REQUIRE PUBLIC NOTICE TO BE SENT OUT.

- (C) Calculation of Fees. Fees that have a scaled fee structure (i.e. that are based on the acreage of the property) are calculated by multiplying the acreage of the property by the scalable fee and adding the base fee. For example, a 5.25-acre property that is requesting a zoning change would be calculated as follows:

$$5.25\text{-acres} \times \$20.00/\text{Acres} = \$105.00 + \$800.00 \text{ [Base Fee]} = \$905.00 \text{ [Fee Due]}$$

Properties that are less than one (1) acre in total size shall be calculated as one (1) acre. No other rounding methods shall be used in the calculation of a fee.

- (D) Non-Compliant Structure Fees. Fees associated with requests for a Site Plan, Specific Use Permit (SUP) or a Variance/Special Exception that deal with structures that were [1] constructed without a building permit, or [2] that were not constructed in conformance with an approved building permit shall be increased by \$2,500.00. For example, a 5.25-acre residential property that is requesting approval for a Specific Use Permit (SUP) under this section would be calculated as follows:

$$5.25\text{-acres} \times \$20.00/\text{Acres} = \$105.00 + \$200.00 \text{ [Base Fee]} = \$305.00 \text{ [Typical Application Fee]} + \$2,500.00 \text{ [Non-Compliant Structure Fee]} = \$2,805.00 \text{ [Fee Due]}$$

NOTIFICATION COSTS (2025)

| Case Number | Number of Notices | Mailing Cost | Newspaper Cost | Total Cost Per Case |
|-------------|-------------------|--------------|----------------|---------------------|
| Z2025-002 | 108 | \$ 84.24 | \$ 122.69 | \$ 206.93 |
| Z2025-003 | 78 | \$ 60.84 | \$ 122.69 | \$ 183.53 |
| Z2025-004 | 4 | \$ 3.12 | \$ 87.50 | \$ 90.62 |
| Z2025-005 | 125 | \$ 97.50 | \$ 87.50 | \$ 185.00 |
| Z2025-006 | 71 | \$ 55.38 | \$ 87.50 | \$ 142.88 |
| Z2025-007 | 109 | \$ 85.02 | \$ 87.50 | \$ 172.52 |
| Z2025-008 | 8 | \$ 6.24 | \$ 87.50 | \$ 93.74 |
| Z2025-009 | 137 | \$ 106.86 | \$ 87.50 | \$ 194.36 |
| Z2025-010 | 409 | \$ 319.02 | \$ 87.50 | \$ 406.52 |
| Z2025-011 | 47 | \$ 36.66 | \$ 87.50 | \$ 124.16 |
| Z2025-012 | 76 | \$ 59.28 | \$ 83.19 | \$ 142.47 |
| Z2025-013 | 82 | \$ 63.96 | \$ 83.19 | \$ 147.15 |
| Z2025-014 | 16 | \$ 12.48 | \$ 83.19 | \$ 95.67 |
| Z2025-015 | 84 | \$ 65.52 | \$ 83.19 | \$ 148.71 |
| Z2025-016 | 24 | \$ 18.72 | \$ 83.19 | \$ 101.91 |
| Z2025-017 | 35 | \$ 27.30 | \$ 81.32 | \$ 108.62 |
| Z2025-018 | 62 | \$ 48.36 | \$ 81.32 | \$ 129.68 |
| Z2025-019 | 173 | \$ 134.94 | \$ 81.32 | \$ 216.26 |
| Z2025-020 | 75 | \$ 58.50 | \$ 81.32 | \$ 139.82 |
| Z2025-021 | 8 | \$ 6.24 | \$ 81.32 | \$ 87.56 |
| Z2025-022 | 66 | \$ 51.48 | \$ 81.32 | \$ 132.80 |
| Z2025-023 | 68 | \$ 53.04 | \$ 80.96 | \$ 134.00 |
| Z2025-024 | 11 | \$ 8.58 | \$ 80.96 | \$ 89.54 |
| Z2025-025 | 34 | \$ 26.52 | \$ 80.96 | \$ 107.48 |
| Z2025-026 | 46 | \$ 35.88 | \$ 80.96 | \$ 116.84 |
| Z2025-027 | 33 | \$ 25.74 | \$ 80.96 | \$ 106.70 |
| Z2025-028 | 27 | \$ 21.06 | \$ 80.96 | \$ 102.02 |
| Z2025-029 | 86 | \$ 67.08 | \$ 78.22 | \$ 145.30 |
| Z2025-030 | 406 | \$ 316.68 | \$ 78.22 | \$ 394.90 |
| Z2025-031 | 25 | \$ 19.50 | \$ 78.22 | \$ 97.72 |
| Z2025-032 | 658 | \$ 513.24 | \$ 78.22 | \$ 591.46 |
| Z2025-033 | 142 | \$ 110.76 | \$ 78.22 | \$ 188.98 |
| Z2025-034 | 113 | \$ 88.14 | \$ 78.22 | \$ 166.36 |
| Z2025-035 | 140 | \$ 109.20 | \$ 78.22 | \$ 187.42 |
| Z2025-036 | 112 | \$ 87.36 | \$ 78.22 | \$ 165.58 |
| Z2025-037 | 107 | \$ 83.46 | \$ 78.22 | \$ 161.68 |
| Z2025-038 | 66 | \$ 51.48 | \$ 78.22 | \$ 129.70 |
| Z2025-039 | 79 | \$ 61.62 | \$ 78.22 | \$ 139.84 |
| Z2025-040 | 36 | \$ 28.08 | \$ 78.22 | \$ 106.30 |

| | | | | |
|-----------|--------|-----------|-----------|--------|
| Z2025-041 | 85 \$ | 66.30 \$ | 78.22 \$ | 144.52 |
| Z2025-042 | 50 \$ | 39.00 \$ | 78.22 \$ | 117.22 |
| Z2025-043 | 5 \$ | 3.90 \$ | 78.22 \$ | 82.12 |
| Z2025-044 | 132 \$ | 102.96 \$ | 83.44 \$ | 186.40 |
| Z2025-045 | 92 \$ | 71.76 \$ | 83.44 \$ | 155.20 |
| Z2025-046 | 49 \$ | 38.22 \$ | 83.44 \$ | 121.66 |
| Z2025-047 | 69 \$ | 53.82 \$ | 83.44 \$ | 137.26 |
| Z2025-048 | 10 \$ | 7.80 \$ | 83.44 \$ | 91.24 |
| Z2025-049 | 25 \$ | 19.50 \$ | 103.75 \$ | 123.25 |
| Z2025-053 | 62 \$ | 48.36 \$ | 70.33 \$ | 118.69 |
| Z2025-054 | 37 \$ | 28.86 \$ | 70.33 \$ | 99.19 |
| Z2025-055 | 42 \$ | 32.76 \$ | 70.33 \$ | 103.09 |
| Z2025-056 | 92 \$ | 71.76 \$ | 70.33 \$ | 142.09 |
| Z2025-057 | 9 \$ | 7.02 \$ | 70.33 \$ | 77.35 |
| Z2025-058 | 52 \$ | 40.56 \$ | 70.33 \$ | 110.89 |
| Z2025-059 | 9 \$ | 7.02 \$ | 70.33 \$ | 77.35 |
| Z2025-060 | 75 \$ | 58.50 \$ | 70.33 \$ | 128.83 |
| Z2025-061 | 164 \$ | 127.92 \$ | 70.33 \$ | 198.25 |
| Z2025-062 | 78 \$ | 60.84 \$ | 102.19 \$ | 163.03 |
| Z2025-063 | 72 \$ | 56.16 \$ | 102.19 \$ | 158.35 |
| Z2025-064 | 58 \$ | 45.24 \$ | 102.19 \$ | 147.43 |
| Z2025-065 | 16 \$ | 12.48 \$ | 102.19 \$ | 114.67 |
| Z2025-066 | 57 \$ | 44.46 \$ | 85.34 \$ | 129.80 |
| Z2025-067 | 69 \$ | 53.82 \$ | 85.34 \$ | 139.16 |
| Z2025-068 | 134 \$ | 104.52 \$ | 85.34 \$ | 189.86 |
| Z2025-069 | 89 \$ | 69.42 \$ | 85.34 \$ | 154.76 |
| Z2025-070 | 28 \$ | 21.84 \$ | 85.34 \$ | 107.18 |
| Z2025-071 | 60 \$ | 46.80 \$ | 85.34 \$ | 132.14 |
| Z2025-072 | 35 \$ | 27.30 \$ | 85.34 \$ | 112.64 |
| Z2025-073 | 41 \$ | 31.98 \$ | 85.34 \$ | 117.32 |
| Z2025-074 | 91 \$ | 70.98 \$ | 100.94 \$ | 171.92 |
| Z2025-075 | 222 \$ | 173.16 \$ | 100.94 \$ | 274.10 |
| Z2025-076 | 20 \$ | 15.60 \$ | 100.94 \$ | 116.54 |
| Z2025-077 | 20 \$ | 15.60 \$ | 100.94 \$ | 116.54 |
| Z2025-078 | 81 \$ | 63.18 \$ | 100.94 \$ | 164.12 |
| Z2025-079 | 33 \$ | 25.74 \$ | 100.94 \$ | 126.68 |
| AVERAGE | \$ | 64.99 \$ | 84.79 \$ | 149.78 |

FEE SCHEDULE COMPARISON

PLATTING FEES

| CITY | PRELIMINARY PLAT | FINAL PLAT | REPLAT | AMENDING OR MINOR PLAT | VACATING PLAT | MASTER PLAT |
|-------------------|--|--|--|--|---|-------------------------|
| ROCKWALL PROPOSED | \$500.00 + \$20.00/ACRE | \$500.00 + \$20.00/ACRE | \$500.00 + \$20.00/ACRE | \$500.00 | \$500.00 | \$500.00 + \$20.00/ACRE |
| ROCKWALL CURRENT | \$200.00 + \$15.00/ACRE | \$300.00 + \$20.00/ACRE | \$300.00 + \$20.00/ACRE | \$150.00 | \$150.00 | \$100.00 + \$15.00/ACRE |
| FATE | \$400.00 + \$20.00/ACRE | \$400.00 + \$20.00/ACRE | \$750.00 | \$750.00 | \$750.00 | N/A |
| ROYSE CITY | \$500.00 + \$10.00/LOT | \$500.00 + \$10.00/LOT | \$500.00 + \$10.00/LOT | \$500.00 | \$500.00 | N/A |
| ROWLETT | \$1,000.00 | \$1,000.00 | \$1,000.00 | \$1,000.00 | \$1,000.00 | N/A |
| GARLAND | \$1,000.00 + \$50.00/ACRE | \$1,000.00 + \$50.00/ACRE | \$1,000.00 + \$50.00/ACRE | \$500.00 + \$50.00/ACRE | \$500.00 + \$50.00/ACRE | N/A |
| WYLIE | \$300.00 + \$15.00/ACRE | \$400.00 + \$25.00/ACRE | \$400.00 + \$25.00/ACRE | \$400.00 + \$25.00/ACRE | \$400.00 + \$25.00/ACRE | N/A |
| FRISCO | \$750.00 + \$20.00/LOT | RESIDENTIAL: \$500.00 + \$20.00/LOT
MULTI-FAMILY: \$350.00 + \$50.00/ACRE
NON-RESIDENTIAL: \$350.00 + \$50.00/ACRE
CONVEYANCE: \$435.00 | RESIDENTIAL: \$600.00 + \$20.00/LOT
MULTI-FAMILY: \$300.00 + \$40.00/ACRE
NON-RESIDENTIAL: \$300.00 + \$40.00/ACRE | RESIDENTIAL: \$500.00 + \$20.00/LOT
MULTI-FAMILY: \$350.00 + \$50.00/ACRE
NON-RESIDENTIAL: \$350.00 + \$50.00/ACRE
AMENDING: \$270.00 + \$20.00/LOT | RESIDENTIAL: \$100.00 + \$20.00/LOT
MULTI-FAMILY: \$100.00 + \$5.00/UNIT
NON-RESIDENTIAL: \$100.00 + \$40.00/ACRE | N/A |
| MESQUITE | \$500.00 + \$25.00/ACRE | \$500.00 + \$25.00/ACRE | \$500.00 + \$25.00/ACRE | \$500.00 + \$25.00/ACRE | \$500.00 | N/A |
| SUNNYVALE | \$800.00 + \$10.00/LOT | \$800.00 + \$15.00/LOT | \$800.00 | \$500.00 | \$500.00 | N/A |
| TERRELL | RESIDENTIAL: \$265.00/LOT
COMMERCIAL: \$400.00/ACRE | RESIDENTIAL: \$265/LOT
MULTI-FAMILY: \$50.00/UNIT (\$400.00 MIN)
COMMERCIAL: \$400.00/ACRE | \$300.00 | \$300.00 | \$300.00 | N/A |
| GREENVILLE | \$200.00 + \$5.00/LOT + \$5.00/PAGE | \$200.00 + \$5.00/LOT + \$5.00/PAGE | \$200.00 + \$5.00/LOT + \$5.00/PAGE | \$200.00 + \$5.00/LOT + \$5.00/PAGE | \$200.00 + \$5.00/LOT + \$5.00/PAGE | N/A |

EXAMPLE : 10.00-ACRE TRACT OF LAND FOR A RESIDENTIAL SUBDIVISION WITH 20-LOTS

KEY: RED = HIGH; GREEN = LOW

| CITY | PRELIMINARY PLAT | FINAL PLAT | REPLAT | AMENDING OR MINOR PLAT | VACATING PLAT |
|-------------------|------------------|-------------|-------------|------------------------|---------------|
| ROCKWALL PROPOSED | \$ 700.00 | \$ 700.00 | \$ 700.00 | \$ 500.00 | \$ 500.00 |
| ROCKWALL CURRENT | \$ 350.00 | \$ 500.00 | \$ 500.00 | \$ 150.00 | \$ 150.00 |
| FATE | \$ 600.00 | \$ 600.00 | \$ 750.00 | \$ 750.00 | \$ 750.00 |
| ROYSE CITY | \$ 700.00 | \$ 700.00 | \$ 700.00 | \$ 500.00 | \$ 500.00 |
| ROWLETT | \$ 1,000.00 | \$ 1,000.00 | \$ 1,000.00 | \$ 1,000.00 | \$ 1,000.00 |
| GARLAND | \$ 1,500.00 | \$ 1,500.00 | \$ 1,500.00 | \$ 1,500.00 | \$ 1,500.00 |
| WYLIE | \$ 450.00 | \$ 650.00 | \$ 650.00 | \$ 650.00 | \$ 650.00 |
| FRISCO | \$ 1,150.00 | \$ 900.00 | \$ 1,000.00 | \$ 900.00 | \$ 500.00 |
| MESQUITE | \$ 750.00 | \$ 750.00 | \$ 750.00 | \$ 750.00 | \$ 500.00 |
| SUNNYVALE | \$ 1,000.00 | \$ 1,100.00 | \$ 800.00 | \$ 500.00 | \$ 500.00 |
| TERRELL | \$ 5,300.00 | \$ 5,300.00 | \$ 300.00 | \$ 300.00 | \$ 300.00 |
| GREENVILLE | \$ 305.00 | \$ 305.00 | \$ 305.00 | \$ 305.00 | \$ 305.00 |

ZONING FEES

| CITY | ZONING | PLANNED DEVELOPMENT | SPECIFIC USE PERMIT | ZONING VERIFICATION |
|-------------------|--|--------------------------------|--|---------------------|
| ROCKWALL PROPOSED | \$1,000.00 + \$20.00/ACRE | \$1,500.00 + \$20.00/ACRE | RESIDENTIAL: \$200.00 + \$20.00/ACRE
COMMERCIAL: \$1,000.00 + \$20.00/ACRE | \$100.00 |
| ROCKWALL CURRENT | \$200.00 + \$15.00/ACRE | \$200.00 + \$15.00/ACRE | \$200.00 + \$15.00/ACRE | \$25.00 |
| FATE | \$500.00 + \$20.00/ACRE ** & *** | \$1,500.00 + \$100.00/ACRE ** | \$1,000.00 ** | \$75.00 * |
| ROYSE CITY | \$750.00 | \$2,500.00/BASE ZONE REQUESTED | \$750.00 | \$50.00 |
| ROWLETT | \$1,250.00 | \$3,800.00 | \$1,300.00 | \$100.00 |
| GARLAND | \$2,000.00 | \$4,600.00 + \$50.00/ACRE | COMMERCIAL OR RES. GREATER THAN 1-
ACRE: \$2,000.00
RESIDENTIAL LESS THAN 1-ACRE: \$500.00 | \$200.00 |
| WYLIE | \$600.00 + \$15.00/ACRE | \$1,000.00 + \$25.00/ACRE | \$750.00 + \$20.00/ACRE | \$75.00 |
| FRISCO | LESS THAN 49.9-ACRES: \$1,050.00
MORE THAN 49.9-ACRES: \$1,500.00 | \$3,800.00 + \$10.00/ACRE | \$1,800.00 + \$10.00/ACRE | \$50.00 |
| MESQUITE | \$1,250.00 + \$15.00/ACRE | \$1,500.00 + \$15.00/ACRE | \$1,250.00 | \$75.00 |
| SUNNYVALE | \$950.00 + \$25.00/ACRE | \$950.00 + \$25.00/ACRE | \$950.00 + \$10.00/ACRE | \$100.00 |
| TERRELL | \$800.00 | \$800.00 | \$1,050.00 | \$25.00 |
| GREENVILLE | \$225.00 | \$225.00 | \$225.00 | NO CHARGE |

NOTES:

*: \$150.00 ZONING INTERPRETATION FEE

**: PLUS NOTIFICATION FEE OF \$150.00 + \$2.50/NOTICE

***: ZONING CHANGES REQUIRING A FUTURE LAND USE MAP AMENDMENT ADD \$500.00 + \$20.00/ACRE **

EXAMPLE: 10.00-ACRE TRACT OF LAND FOR A RESIDENTIAL SUBDIVISION WITH 20-LOTS

KEY: RED = HIGH; GREEN = LOW

| CITY | ZONING | PLANNED DEVELOPMENT | DISTRICT |
|-------------------|--------|---------------------|-------------|
| ROCKWALL PROPOSED | \$ | 1,200.00 | \$ 1,700.00 |
| ROCKWALL CURRENT | \$ | 350.00 | \$ 350.00 |
| FATE | \$ | 700.00 | \$ 1,650.00 |
| ROYSE CITY | \$ | 750.00 | \$ 2,500.00 |
| ROWLETT | \$ | 1,250.00 | \$ 3,800.00 |
| GARLAND | \$ | 2,000.00 | \$ 5,100.00 |
| WYLIE | \$ | 750.00 | \$ 1,250.00 |
| FRISCO | \$ | 1,050.00 | \$ 3,900.00 |
| MESQUITE | \$ | 1,400.00 | \$ 1,650.00 |
| SUNNYVALE | \$ | 1,200.00 | \$ 1,200.00 |
| TERRELL | \$ | 800.00 | \$ 800.00 |
| GREENVILLE | \$ | 225.00 | \$ 225.00 |

SITE PLAN FEES

| CITY | SITE PLAN | AMENDED SITE PLAN/ELEVATIONS/
LANDSCAPING PLAN | VARIANCE (NON-SITE PLAN) | NON-COMPLIANT STRUCTURE FEE |
|-------------------|---|---|---|-----------------------------|
| ROCKWALL PROPOSED | \$1,000.00 + \$20.00/ACRE | \$500.00 | RESIDENTIAL: \$200.00
COMMERCIAL: \$1,000.00 | \$2,500.00 |
| ROCKWALL CURRENT | \$250.00 + \$20.00/ACRE | \$100.00 | \$100.00 | \$1,000.00 |
| FATE | TYPE 1: \$1,000.00 + \$10.00/ACRE
TYPE 2: \$1,500.00 + \$50.00/ACRE | \$200.00 | \$450.00 | N/A |
| ROYSE CITY | LESS THAN 5-ACRES: \$500.00
MORE THAN 5-ACRES: \$500.00 + \$25.00/ACRE | \$250.00 | | N/A |
| ROWLETT | \$2,250.00 | \$300.00 | | N/A |
| GARLAND | \$2,200.00 to \$3,400.00 | \$500.00 | \$350.00 | N/A |
| WYLIE | \$400.00 + \$10.00/ACRE | \$400.00 + \$10.00/ACRE | | N/A |
| FRISCO | PRELIMINARY SITE PLAN: \$1,000.00 + \$50.00/ACRE
SITE PLAN: \$750.00 + \$100.00/ACRE | \$200.00 | | N/A |
| MESQUITE | \$800.00 | \$600.00 | | N/A |
| SUNNYVALE | \$1,300.00 + \$10.00/ACRE | \$1,300.00 + \$10.00/ACRE | \$720.00 | N/A |
| TERRELL | \$250.00 | \$250.00 | \$500.00 | N/A |
| GREENVILLE | 10.00% of Building Permit Fee | 10.00% of Building Permit Fee | \$55.00 | N/A |

CITY OF ROCKWALL

ORDINANCE NO. 26-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 10, FEE SCHEDULE, OF ARTICLE 11, DEVELOPMENT APPLICATIONS AND REVIEW PROCEDURES, AS DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [Ordinance No. 20-02] has been initiated by the City Council of the City of Rockwall to amend Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code [Ordinance No. 20-02] to update the City's development related application fees; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. FINDINGS OF FACT. The foregoing recitals are hereby found to be true and correct and are hereby adopted by the City Council and made a part hereof for all purposes as findings of fact.

SECTION 2. AMENDMENT. That Section 10, *Fee Schedule*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit 'A'* of this ordinance;

SECTION 3. PENALTY OF FINE. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 4. REMAINING PROVISIONS UNCHANGED. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 20-02], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 5. EFFECTIVE DATE. That this ordinance shall take effect immediately from and after its passage.

SECTION 6. OPEN MEETINGS. It is hereby officially found and determined that the meeting at which this *Ordinance* is passed was open to the public as required and that public notice of the time, place and purpose of said meeting was given as required by the *Open Meetings Act*.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS
THE 4TH DAY OF MAY, 2026.

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: April 20, 2026

2nd Reading: May 4, 2026

Exhibit 'A'
Section 10, Fee Schedule, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC)



- (F) If such a request will be in harmony with the spirit and intent of the Unified Development Code (UDC), Comprehensive Plan, and/or other City policies.
- (G) If such a request will alter the essential character of the district in which the subject property is located.
- (H) If such a request will substantially weaken the general purpose of the zoning requirements established for the district in which the subject property is located.

SECTION 10 | FEE SCHEDULE

- (A) Establishment of Fees. Fees for all development related applications in the City of Rockwall shall be established by the City Council upon recommendation of the City Council. Such fees shall be for the sole purpose of recovering the administrative cost of processing development applications, advertising zoning requests, and holding public hearings required by this Article. Such fee shall not be designed to generate revenue for the City other than recovery of actual administrative costs.
- (B) Fees. The fees for development related applications in the City of Rockwall shall be as follows:

| | |
|--|--------------------------------|
| (1) PLATTING | |
| (a) Master Plat | \$400500.00 + \$4520.00/Acre |
| (b) Preliminary Plat | \$200500.00 + \$4520.00/Acre |
| (c) Final Plat | \$300500.00 + \$20.00/Acre |
| (d) Replat ⁽²⁾ | \$300500.00 + \$20.00/Acre |
| (e) Amending or Minor Plat | \$450500.00 |
| (f) Plat Reinstatement Request | \$400200.00 |
| (2) SITE PLAN | |
| (a) Site Plan ^{(1) ±} | \$2501,000.00 + \$20.00/Acre |
| (b) Amended Site Plan | \$400500.00 |
| (3) ZONING ⁽²⁾ | |
| (a) Zoning Change | \$2001,000.00 + \$4520.00/Acre |
| (b)(b) Specific Use Permit (SUP) ^{(1) Specific Use Permit (SUP)*} | \$200.00 + \$15.00/Acre |
| Residential Property | \$200.00 + \$20.00/Acre |
| Commercial Property | \$1,000.00 + \$20.00/Acre |
| (c) Planned Development (PD) | \$2001,500.00 + \$4520.00/Acre |
| (4) MISCELLANEOUS | |
| (a) Variance/Special Exception/Special Requests ^{(1) ±} | \$400.00 |
| Residential Property | \$100.00 |
| Commercial Property | \$1,000.00 |
| (b) Treescape Plan/Tree Removal | \$75200.00 |
| (c) Zoning Verification Letter | \$100.00 |
| (d) Landscape Inspection Fee | |
| First and Second Inspections | \$0.00 |
| Third and Subsequent Inspections | \$500.00/Inspection |
| (e) Other Miscellaneous Requests | \$0.00 |
| (5) BOARD OF ADJUSTMENTS | |
| (a) Variance | \$200.00 |

| | |
|--|----------|
| (b) Appeal of an Administrative Decision | \$200.00 |
| (c) Appeal of a Code Decision | \$200.00 |
| (56) HISTORIC PRESERVATION ADVISORY BOARD | |
| (a) Certificate of Appropriateness (COA) | \$0.00 |
| (b) Small Matching Grants | \$0.00 |
| (c) Building Permit Fee Waiver | \$0.00 |

NOTES:

⁽¹⁾ SEE SECTION (D) BELOW.

⁽²⁾ AN ADDITIONAL \$150.00 FEE WILL BE REQUIRED FOR ALL CASES THAT REQUIRE PUBLIC NOTICE TO BE SENT OUT.

~~(D)~~(C) Calculation of Fees. Fees that have a scaled fee structure (i.e. that are based on the acreage of the property) are calculated by multiplying the acreage of the property by the scalable fee and adding the base fee. For example, a 5.25-acre property that is requesting a zoning change would be calculated as follows:

$$5.25\text{-acres} \times \$4520.00/\text{Acre} = \$78,75105.00 + \$200800.00 [\text{Base Fee}] = \$278,75905.00 [\text{Fee Due}]$$

Properties that are less than one (1) acre in total size shall be calculated as one (1) acre. No other rounding methods shall be used in the calculation of a fee.

~~(E)~~(D) Non-Compliant Structure Fees. Fees associated with requests for a Site Plan, Specific Use Permit (SUP) or a Variance/Special Exception that deal with structures that were [1] constructed without a building permit, or [2] that were not constructed in conformance with an approved building permit shall be increased by \$4,0002,500.00. For example, a 5.25-acre residential property that is requesting approval for a Specific Use Permit (SUP) under this section would be calculated as follows:

$$5.25\text{-acres} \times \$4520.00/\text{Acre} = \$78,75105.00 + \$200.00 [\text{Base Fee}] = \$278,75305.00 [\text{Typical Application Fee}] + \$4,0002,500.00 [\text{Forgiveness} - \text{Fee Non-Compliant Structure Fee}] = \$4,278,752,805.00 [\text{Fee Due}].$$



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 14, 2026
APPLICANT: Keaton Mai; *Dimension Group*
CASE NUMBER: SP2026-010; *Site Plan for Creekside Commons Retail Center*

SUMMARY

Discuss and consider a request by Keaton Mai of the Dimension Group on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a *General Retail Building* on a 1.412-acre tract of land identified as Lots 15 & 16, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Corridor Overlay (SH-205 OV) District, addressed as 4853 S. Goliad Street [*SH-205*], and take any action necessary.

BACKGROUND

On May 19, 1986, the subject property was annexed into the City of Rockwall by *Ordinance No. 86-37 [Case No A1986-005]*. On March 4, 2013, the City Council approved a zoning change from an Agricultural (AG) District to a Commercial (C) District [*Case No. Z2013-002; Ordinance No. 13-03*] for a 45.5601-acre tract of land. On June 7, 2021, the City Council approved a preliminary plat [*Case No. P2021-027*] for a 14-lot commercial development (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which includes the subject property. On November 7, 2022, the City Council approved a final plat [*Case No. P2022-052*] that established the subject property as a portion of Lot 3 & Lot 4, Block A, Creekside Commons Addition. On February 5, 2024, the City Council approved a replat [*Case No. P2024-004*] that establish the subject property as Lots 15 & 16, Block A, Creekside Commons Addition. The subject property has remained vacant since its annexation.

PURPOSE

On March 13, 2026, the applicant -- *Keaton Mai with Dimension Group* -- submitted an application requesting the approval of a site plan for a ~8,580 SF *Multi-Tenant Restaurant/Retail Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located southeast of the intersection of S. Goliad Street [*SH-205*] and FM-549. The land uses adjacent to the subject property are as follows:

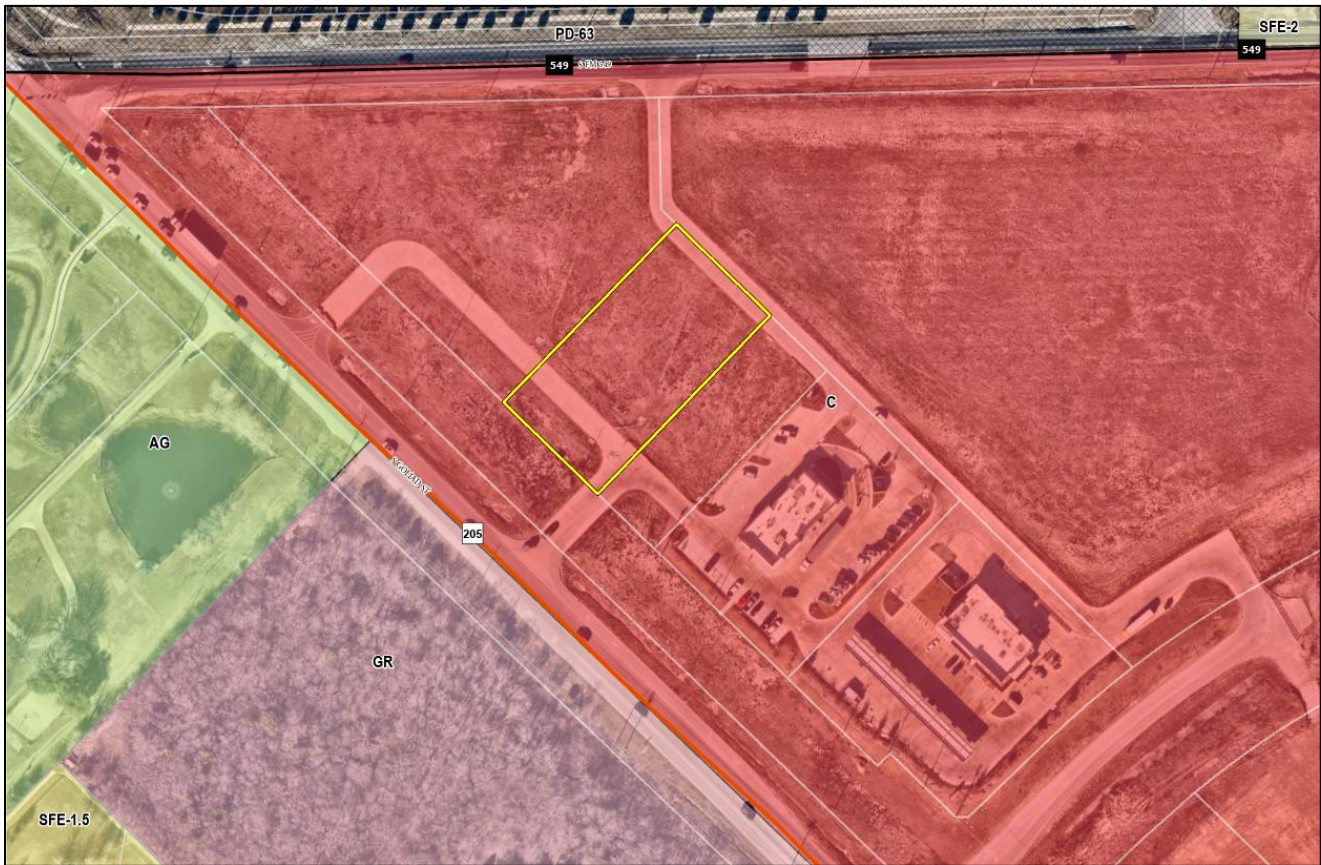
North: Directly north of the subject property are two (2) vacant parcels of land (*i.e. Lots 17 & 18, Block A, Creekside Commons Addition*) zoned Commercial (C) District. Beyond this is FM-549, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the Somerset Park Subdivision, which consists of 309 single-family homes and is zoned Planned Development District 63 (PD-63) for Single Family 10 (SF-10) District land uses.

South: Directly south of the subject property is S. Goliad Street [*SH-205*], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.998-acre vacant tract of land (*i.e. Tract 10-1 of the W. W. Ford Survey, Abstract No. 80*) zoned General Retail (GR) District. Following this is FM-549, which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 1.251-acre parcel of land (i.e. Lot 14, Block A, Creekside Commons Addition) developed with a Restaurant Greater than 2,000 SF with Drive Through or Drive In (i.e. McDonald's). Beyond this is a 11.874-acre vacant parcel of land (i.e. Lot 18, Block A, Creekside Commons Addition). Both of these properties are zoned Commercial (C) District. Following this is FM-549, which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land developed with single-family homes that are zoned Agricultural (AG) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Multi-Tenant Restaurant/Retail Building* is permitted *by-right* land use in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District. A summary of the density and dimensional requirements for the subject property are as follows:

| <i>Ordinance Provisions</i> | <i>Zoning District Standards</i> | <i>Conformance to the Standards</i> |
|-----------------------------------|----------------------------------|--------------------------------------|
| <i>Minimum Lot Area</i> | <i>10,000 SF</i> | <i>X=1.412-acres; In Conformance</i> |
| <i>Minimum Lot frontage</i> | <i>60-Feet</i> | <i>X=228.23-feet; In Conformance</i> |
| <i>Minimum Lot Depth</i> | <i>100-Feet</i> | <i>X=269.61-feet; In Conformance</i> |
| <i>Minimum Front Yard Setback</i> | <i>25-Feet</i> | <i>X>25-feet; In Conformance</i> |
| <i>Minimum Rear Yard Setback</i> | <i>10-Feet</i> | <i>X>10-feet; In Conformance</i> |

| <i>Ordinance Provisions</i> | <i>Zoning District Standards</i> | <i>Conformance to the Standards</i> |
|---|----------------------------------|-------------------------------------|
| <i>Minimum Side Yard Setback</i> | <i>10-Feet</i> | <i>X>10-feet; In Conformance</i> |
| <i>Maximum Building Height</i> | <i>60-Feet</i> | <i>X=27.2-feet; In Conformance</i> |
| <i>Max Building/Lot Coverage</i> | <i>60%</i> | <i>X=13.95%; In Conformance</i> |
| <i>Minimum Number of Parking Spaces</i> | <i>1/250 SF = 25 spaces</i> | <i>X=60; In Conformance</i> |
| | <i>1/200 Sf = 18 spaces</i> | |
| | <i>Total = 43 spaces</i> | |
| <i>Minimum Landscaping Percentage</i> | <i>20%</i> | <i>X=19%; Non-Conforming</i> |
| <i>Maximum Impervious Coverage</i> | <i>85-90%</i> | <i>X=81%; In Conformance</i> |

TREESCAPE PLAN

The development of the proposed *Restaurant/Retail Building* does not require the removal of any trees from the subject property. Given this, a *Treescape Plan* is not required for the requested site plan.

CONFORMANCE WITH THE CITY’S CODES

In this case the applicant is requesting a ~8,580 SF *Multi-Tenant Restaurant/Retail Building* on the subject property. Specifically, the site plan indicates the targeted businesses as *Limited Service Restaurant (i.e. Restaurant with 2,000 SF or More with Drive-Through)*, *General Personal Services*, and *Medical Office*. All of these proposed land uses are permitted by-right on the subject property and they conform to the land uses listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). Staff should note, that in order for a *Restaurant* to be considered limited service “(f)ood and drink may be consumed on premises without employee table service, taken out, or delivered to customers' location. Drive-through “pickup/order” window permitted provided that there is no public address system or speakers.” If this site plan is approved, staff will determine the type of restaurant proposed at the time of Certificate of Occupancy (CO).

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), a *Limited Service Restaurant* requires one (1) parking space per 250 SF, a *Medical Office* requires one (1) parking space per 200 SF, and a *General Personal Service* generally requires one (1) parking space per 250 SF. In this case, the applicant the applicant is required to provide 43 parking spaces (*i.e. [2,352 SF / 250 SF] + [3,300 SF / 250 SF] + [3,128 SF / 200 SF] = 43 parking spaces*), and they are providing 60 parking spaces. This represents an overall surplus of 17 parking spaces. The applicant has indicated that the proposed surplus aims to provide flexibility in acquiring tenants and prevent parking issues in the future.

The proposed site plan generally conforms to the standards of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As previously stated, the applicant’s request appears to generally conform to the requirements of the Unified Development Code (UDC); however, staff has identified the following variance and exception associated with the applicant’s request:

- (1) Articulation. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), each building façade within a Commercial (C) District must meet the minimum primary articulation standards on each side of the building. In this case, the proposed building does not meet the articulation standards on each side of the building. This will require an exception from the Planning and Zoning Commission.
- (2) Four (4) Sided Architecture. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features.” In this case, the north elevation does not incorporate the same detailing and features as the other three (3) sides of the building. This will require a variance from the Planning and Zoning Commission.

- (3) Secondary Materials. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all buildings are required to utilize a "... minimum of 90% Primary Materials and/or a maximum of 10% Secondary Materials." In this case, the east and north elevations incorporate greater than ten (10) percent secondary materials. This will require a variance from the Planning and Zoning Commission.
- (4) Cementitious Materials. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), cementitious materials are identified as stucco and cementitious lap siding. In this case, the applicant is proposing the use of Nichiha. This will require a variance from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. In this case, the applicant is providing the following compensatory measures: [1] a 40-foot landscape buffer in lieu of a 20-foot landscape buffer, [2] recessed patio/common areas, [3] an internalized roof access ladder, and [4] stone in excess of the 20% requirement on each side of the building. Staff should note that compensatory item [1] may not be considered compensatory as there are four (4) parking spaces located within the 40-foot landscape buffer. In addition, staff should note that the stone percentage is in excess of 20%; however, it varies from 0.5%-14.1% over the requirement. That being said, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission, that require a supermajority vote (e.g. *six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *South Central Residential District* and is designated for *Commercial* land uses. According to the *District Strategies* this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." In this case, the applicant is proposing a multi-tenant *Restaurant/Retail Building*. Based on this, the applicant's land use appears to conform with the Comprehensive Plan. In addition, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one (1) of the architectural policies the community should "... encourage high quality and inspiring architecture throughout the City..." More specifically the OURHometown Vision 2040 Comprehensive Plan states that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant's request appears to conform with the goals and policies for non-residential buildings contained in the Comprehensive Plan; however, this will be a discretionary decision for the Planning and Zoning Commission concerning the applicant's request for an exception to the articulation requirements.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On March 31, 2026, the Architectural Review Board (ARB) reviewed the proposed building elevations and recommended that the applicant [1] use nichiha in lieu of newtech, [2] provide store front glass on the rear side and south side of the building, and [3] keep the decorative pots shown on the elevations. The applicant has corrected this and is meeting the conditions of the Architectural Review Board's (ARB's) recommendation. The Architectural Review Board (ARB) will review the revised building elevations on April 14, 2026 and provide a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for a *Multi-Tenant Restaurant/Retail Building* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹ \$278.24
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS NWC of Hwy 205 and Future FM 549

SUBDIVISION Creekside Commons LOT 19 BLOCK A

GENERAL LOCATION NWC of Hwy 205 and Future FM 549

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial (C) CURRENT USE Undeveloped

PROPOSED ZONING Commercial (C) PROPOSED USE Multi-use strip center

ACREAGE 1.412 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

| | |
|--|--|
| <input type="checkbox"/> OWNER Creekside Commons Crossing LP | <input type="checkbox"/> APPLICANT The Dimension Group |
| CONTACT PERSON Michael Hampton | CONTACT PERSON Keaton Mai |
| ADDRESS [REDACTED] | ADDRESS [REDACTED] |
| CITY, STATE & ZIP [REDACTED] | CITY, STATE & ZIP [REDACTED] |
| PHONE [REDACTED] | PHONE [REDACTED] |
| E-MAIL [REDACTED] | E-MAIL [REDACTED] |

NOTARY VERIFICATION [REQUIRED]

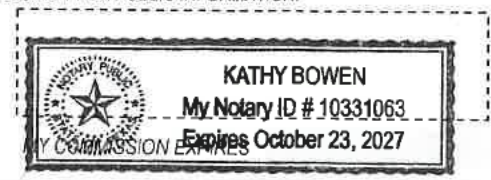
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Hampton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 278.24 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13th DAY OF March, 2026 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 13th DAY OF March, 2026

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Kathy Bowen

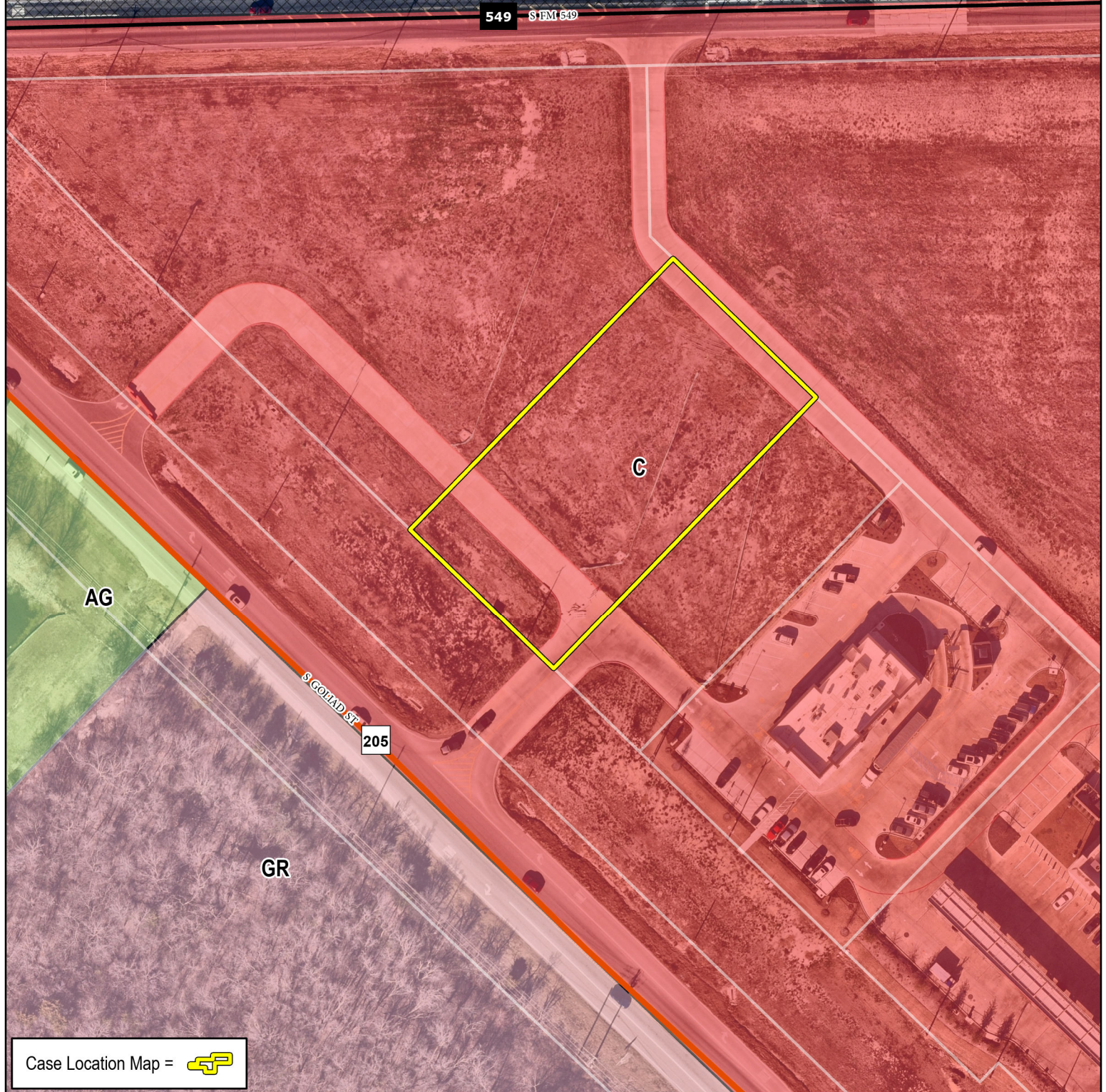





SP2026-010: Site Plan for Creekside Commons Strip Center

PD-63

549 STM 549



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





March 13, 2026

City of Rockwall
Attn: Planning Department
385 S Goliad
Rockwall, TX 75087

RE: Variance Request Letter for Proposed 8,500-sf (+/-) multi-tenant retail building at Creekside Commons (Lot 19)

To Whom it May Concern:

Prudent Development / Creekside Commons Crossing, LP is pleased to present its initial plans for a proposed multi-tenant retail building to be located on Lot 19 (former Lots 15-16) of Creekside Commons Addition, just north of the existing McDonalds and west of the recently approved Taco Bell. In connection with the upcoming Planning and Zoning Commission and Architectural Review Board meetings on March 31, 2026, please find enclosed the following:

- Site Plan
- Landscape Plan
- Photometric Plan
- Lighting Cut Sheets
- Building Elevations
- Material Sample Board

We are proposing a high quality and versatile building on this site, that will include a drive-thru end cap on the southwest side. No leases have been finalized as of this time, but we expect a restaurant/beverage user (over 2,000-sf) in this space and a combination of personal service/medical/general retail for the remaining space, and have parked the building with this mix of tenants in mind. We intend to meet all City ordinances and Overlay district requirements. Per the desires of the City and Commission on prior projects, we also are proposing the continued use of many of the same building materials, colors, lighting and plantings that tie-in with those approved projects in the development. We believe the building is highly articulated on all four sides, but recognize that the proposed elevations show some slight exceedances to the 10% allowance for "secondary materials". Specifically, we are proposing a combination of composite wood material and metal coping that exceed the 10% allowance on the south-facing "front" elevation (16.4%) and west-facing "Side" elevation (17.3%). We would note that similar composite wood material were approved and utilized on both the 7-Eleven and McDonalds projects, and this same exact material was previously approved on an HTeaO project in late 2024, which did not move forward. While we certainly could modify and reduce the materials on this project to fully comply, it is our opinion the use of this material on the upper portions of each end of the building results in a better looking, interesting and balanced finished-product. With the variance in mind, we are offering several compensatory measures on this project including:



- 1) Increased landscape buffer width of 40-ft (vs minimum 25-ft) and removal of parking along the majority of the SH 205 buffer, ensuring no berm/plantings on utility easements.
- 2) Incorporated recessed patio areas/common areas at each front corner of the building.
- 3) Roof ladder and hatch will be located internally and invisible from public view.
- 4) All but one elevation exceed the minimum 20% stone requirement, up to 34% on the west/205-facing elevation.

Thank you for the consideration and we look forward to discussing the project further at the upcoming hearings.

Best regards,


A handwritten signature in blue ink, appearing to read "Michael Hampton", is written over a faint, larger version of the same signature.

Michael Hampton, AICP
Vice President
Prudent Development

Enclosures

[24x36] (Bldg.dwg) [C-BASE.dwg] [C-BASE-PRUDENT.dwg] [C-BASE-DEVELOPMENT/2025/250-284 - Rockwall, TX - Creekside Commons (Strip Center) V02 Civil V3.0 Sheet (Strip Center) V02 C3.0 SITE PLAN.dwg Apr 06, 2026 - 1:00pm
 Drawing name: L: PRUDENT DEVELOPMENT/2025/250-284 - Rockwall, TX - Creekside Commons (Strip Center) V02 Civil V3.0 Sheet (Strip Center) V02 C3.0 SITE PLAN.dwg

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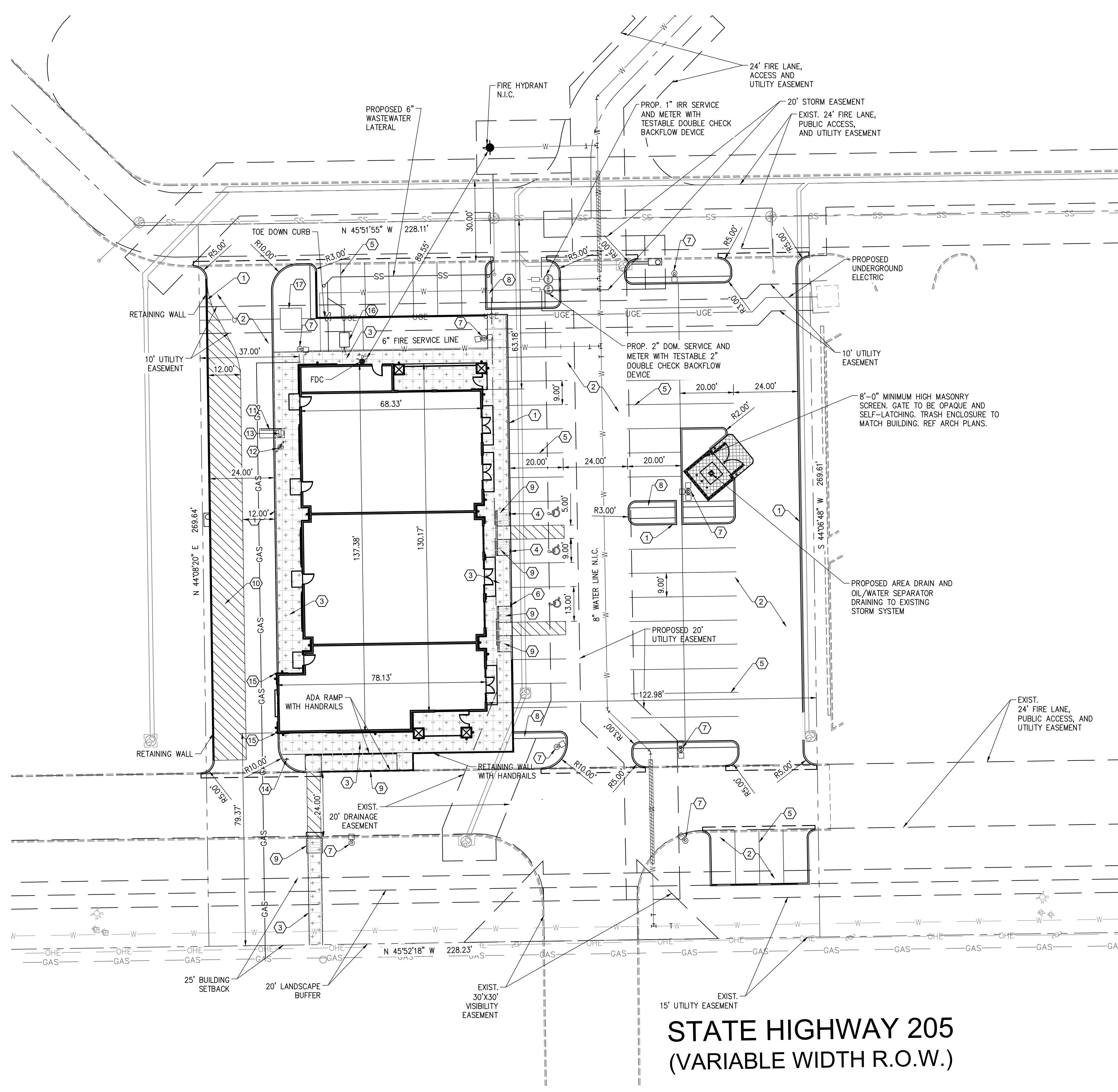


CITY OF ROCKWALL MONUMENTS
 COR-8: ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" AT THE NORTHERLY INTERSECTION OF SILVER VIEW LANE AND DIAMOND WAY DRIVE ±1 FOOT NORTH OF CURB LINE IN CENTER OF CURVE.
 N: 7018063.113, E: 2609533.682 ELEVATION: 600.48'
 COR-9: BRASS DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT" ON THE SOUTH SIDE OF DISCOVERY BOULEVARD AT THE SOUTHEAST CORNER OF CURB INLET ±180 FOOT EAST INTERSECTION OF DISCOVERY/CORPORATE.
 N: 7020550.132, E: 2607463.893 ELEVATION: 595.63'

ENGINEER/APPLICANT
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 10755 SANDHILL ROAD
 DALLAS, TX, 75238
 PHONE: (214) 343-9400
 CONTACT: KEATON L. MAI, PE

OWNER
 PRUDENT DEVELOPMENT
 10755 SANDHILL ROAD
 DALLAS, TEXAS 75238
 PHONE: (214) 271-4630
 CONTACT: MICHAEL HAMPTON

DEVELOPER
 PRUDENT DEVELOPMENT
 10755 SANDHILL ROAD
 DALLAS, TEXAS 75238
 PHONE: (214) 271-4630
 CONTACT: MICHAEL HAMPTON



SITE PLAN KEYNOTES:

- 1 CONSTRUCT 6" CURB & GUTTER
- 2 CONSTRUCT 6" CONCRETE PAVEMENT SECTION
- 3 INSTALL SIDEWALK PAVEMENT
- 4 INSTALL HANDICAP CAR SIGN
- 5 4" WHITE PAVEMENT SOLID PARKING STRIPES
- 6 HANDICAP VAN PARKING
- 7 STANDARD AREA LIGHT POLE
- 8 2' WIDE CRUSHED GRANITE (TYP.)
- 9 NEW BARRIER FREE RAMPS
- 10 PROPOSED ESCAPE LANE
- 11 CLEARANCE BAR
- 12 MENU BOARD
- 13 ORDER SPEAKER
- 14 "ONE WAY DO NOT ENTER" SIGN
- 15 PROPOSED 4" BOLLARD
- 16 PROPOSED GREASE INTERCEPTOR
- 17 PROPOSED TRANSFORMER

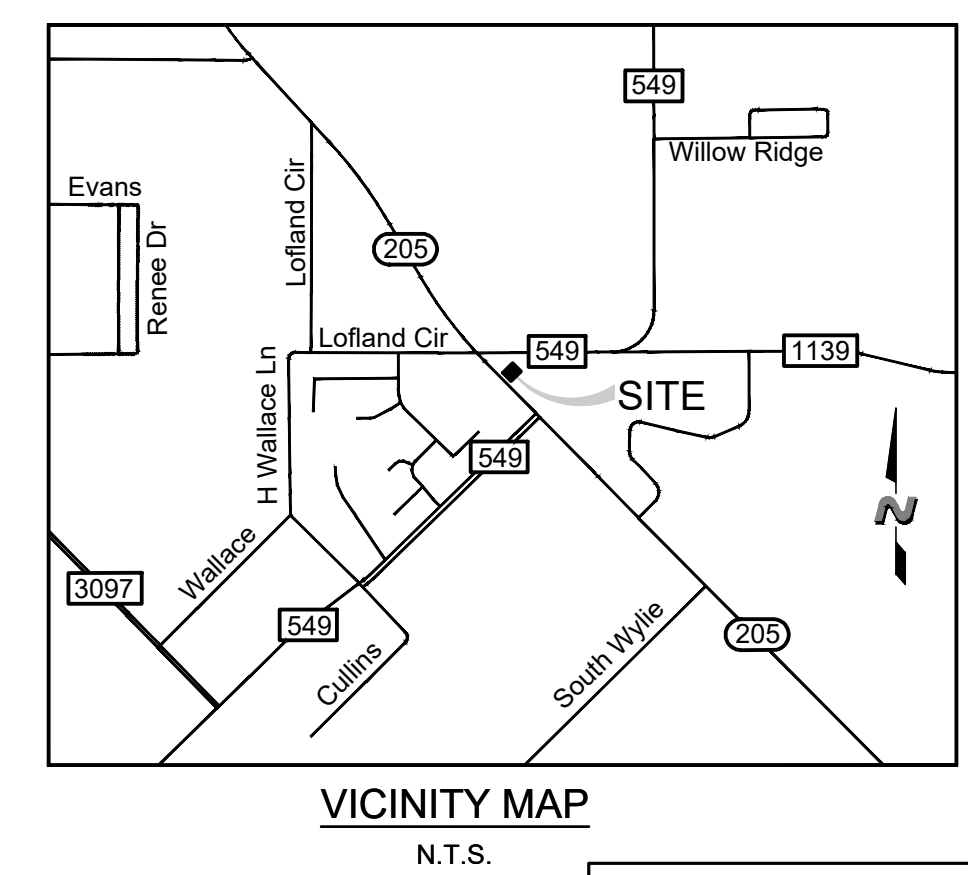
GENERAL NOTES

1. The contractor shall assume sole and complete responsibility for his means and methods of construction, job site conditions and job site safety, including safety of all persons and property. This requirement shall apply continuously and not be limited to working hours. The contractor shall save, protect, indemnify defend and hold harmless the owner, the architect and the engineer from any claim of liability, real or alleged, arising out of the performance of any work on this project. The contractor shall name the owner, the architect and the engineer as "additional insured" on his insurance policies.
2. Existing above ground utilities have been shown based on information shown on a survey of the property. Underground utilities are shown based on recorded data and may not be complete or exact. The contractor shall be responsible for verifying the locations and depths of all above ground and underground utilities prior to construction. The contractor shall be responsible for damage to existing above ground or underground utilities, including those not shown on the plans. The contractor is advised to contact the city and all franchise utility companies, easement holders, etc. at least 48 hours prior to beginning excavation in the vicinity of any underground utility.
3. The contractor shall comply with all building codes and regulations, federal, state, county, and city safety codes and inspection requirements.
4. The contractor shall provide dust protection during construction. All trash and debris shall be picked up at all times. Commercial construction debris/solid waste hauler permit required.
5. There will be no outside storage or above ground storage tanks. (Subsection 01.05, of Article 05, UDC)
6. Per the Engineering Standards of Design and Construction, dumpster areas will need to drain to oil/water separator and then to storm lines.

| USE | COMMERCIAL (DRIVE-THRU RESTAURANT) |
|------------------------------------|--|
| LOT AREA | 61,520 S.F. (1.412 ACRES) |
| BUILDING SQUARE FOOTAGE | 8,580 S.F. |
| FAR | 0.06:1 |
| BUILDING HEIGHT | 27'-0" |
| TOTAL PERVIOUS COVER | 11,468 S.F. OR 19% |
| TOTAL IMPERVIOUS COVER | 50,052 S.F. OR 81% |
| LIMITED SERVICE REST. PARKING REQD | 11 SPACES (BLG-2,352 S.F./PATIO-168 S.F. - 1/250 G.F.A.) |
| PERSONAL SERVICE PARKING REQUIRED | 14 SPACES (3,300 S.F. - 1/250 G.F.A.) |
| MEDICAL PARKING REQUIRED | 18 SPACES (BLG-3,128 S.F./PATIO-282 S.F. - 1/200 G.F.A.) |
| TOTAL PARKING REQUIRED | 43 SPACES |
| TOTAL PARKING PROVIDED | 60 SPACES |
| HANDICAP PARKING REQUIRED | 3 SPACES |
| HANDICAP PARKING PROVIDED | 3 SPACES |

PAVING LEGEND

| | | |
|--|--------------|---|
| | PARKING AREA | 5" THICK 4000 P.S.I. MIN. 6.5 SACK MIX #3 REBAR AT 18" O.C.E.W. |
| | DUMPSTER PAD | 7" THICK 4000 P.S.I. MIN. 6.5 SACK MIX #3 REBAR AT 18" O.C.E.W. |
| | SIDEWALK | 4" THICK 3000 P.S.I. MIN. 5.5 SACK MIX #3 REBAR AT 24" O.C.E.W. |



SITE PLAN
 LOT 19, BLOCK A, CREEKSIDE COMMONS ADDITION
 NWC STATE HIGHWAY 205 & F.M. 549
 A 1.412 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT #SP2026-010
 April 6, 2026

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2026.

WITNESS OUR HANDS, this ____ day of ____, 2026.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

THE DIMENSION GROUP
 ARCHITECTURE - CIVIL ENGINEERING - MEP ENGINEERING
 TEL: 214.343.9400 www.dimensiongroup.com

STATE OF TEXAS
 KEATON L. MAI
 125077
 LICENSED PROFESSIONAL ENGINEER

TBPE FIRM REGISTRATION #8396

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PRELIMINARY REVIEW UNDER THE AUTHORITY OF KEATON L. MAI, P.E. 125077 ON 4/6/2026. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

THIS PROJECT IS THE PROPERTY OF THE DIMENSION GROUP. SERVICE AND ARE PROTECTED BY COMMON LAW. IF YOU OR ANY OTHER PARTY REPRODUCES OR TRANSMITS THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF THE DIMENSION GROUP.

| BY | DATE | REVISION DESCRIPTION |
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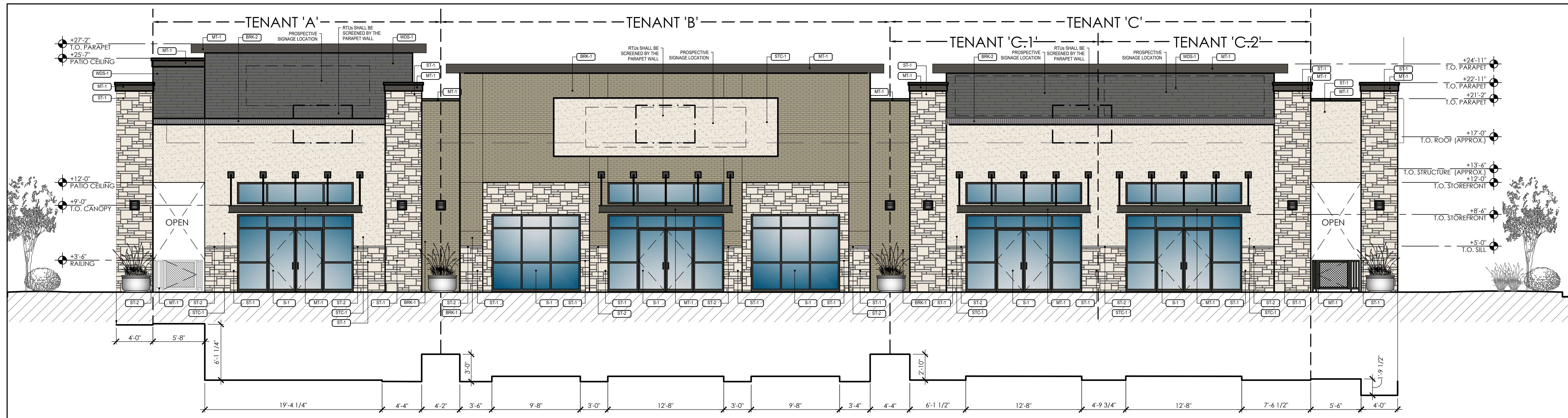
PROJECT NO. 250-284
 DATE 4/06/2026 - 1:00 pm
 DWG. C3.0 SITE PLAN.dwg

drawn by
 designed by
 approved by

SITE PLAN

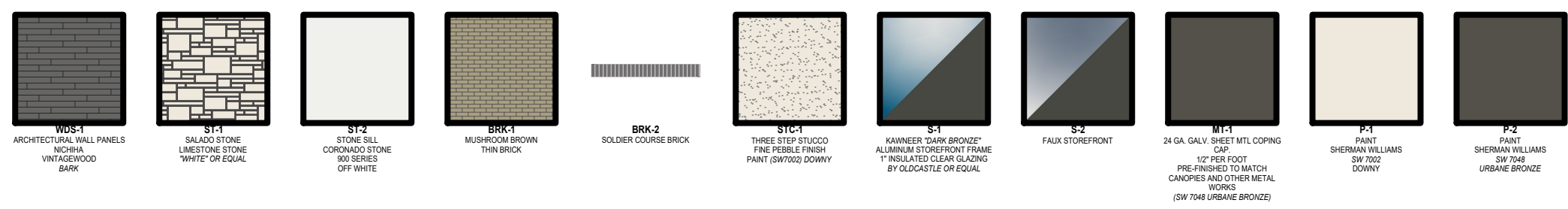
CREEKSIDE COMMONS STRIP CENTER
 NWC STATE HIGHWAY 205 & FM 549
 ROCKWALL, TEXAS 75032

SHEET
C3.0

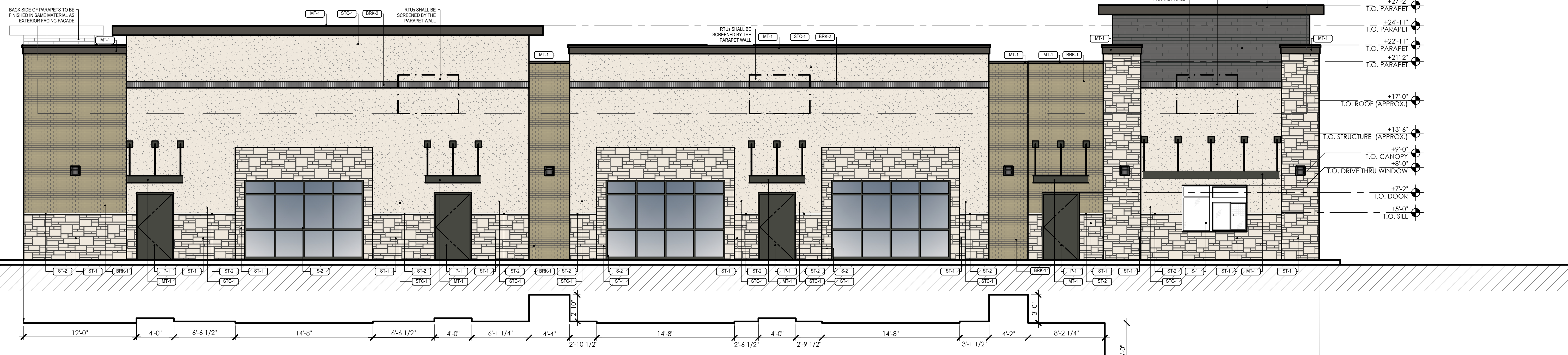


01 FRONT ELEVATION
3/16" = 1'-0"

FINISH SCHEDULE



| SOUTH ELEVATION MATERIALS | SQ. FT. | PERCENT | MATERIAL BREAKDOWN | SQ. FT. | PERCENT |
|---------------------------|-----------------|-------------|--|----------|---------|
| WDS-1 | 357 SF | 10.7% | PRIMARY MATERIALS | 2,836 SF | 85.1% |
| ST-1 | 687 SF | 20.6% | SECONDARY MATERIALS | 497 SF | 14.9% |
| ST-2 | 5 SF | <1.0% | SECONDARY FACADE ARTICULATION | | |
| BRK-1 | 630 SF | 18.9% | 1. WALL HEIGHT: | 25.5' | |
| BRK-2 | 41 SF | 1.2% | 2. WALL LENGTH: | 76.5' | |
| STC-1 | 757 SF | 22.8% | 3. SECONDARY ENTRY/ARCH. ELEMENT LENGTH: | 11.475' | |
| S-1 | 716 SF | 21.5% | 4. SECONDARY ENTRY/ARCH. ELEMENT WIDTH: | 3.825' | |
| S-2 | 0 SF | 0.0% | 5. PROJECTION HEIGHT: | 3.825' | |
| MT-1 | 140 SF | 4.2% | | | |
| TOTAL | 3,333 SF | 100% | | | |



02 REAR ELEVATION
3/16" = 1'-0"

| NORTH ELEVATION MATERIALS | SQ. FT. | PERCENT | MATERIAL BREAKDOWN | SQ. FT. | PERCENT |
|---------------------------|-----------------|-------------|--|----------|---------|
| WDS-1 | 126 SF | 3.9% | PRIMARY MATERIALITY | 2,939 SF | 90.7% |
| ST-1 | 665 SF | 20.5% | SECONDARY MATERIALITY | 303 SF | 9.3% |
| ST-2 | 9 SF | <1.0% | SECONDARY FACADE ARTICULATION | | |
| BRK-1 | 479 SF | 14.8% | 1. WALL HEIGHT: | 25.5' | |
| BRK-2 | 69 SF | 2.1% | 2. WALL LENGTH: | 76.5' | |
| STC-1 | 1,358 SF | 41.9% | 3. SECONDARY ENTRY/ARCH. ELEMENT LENGTH: | 11.475' | |
| S-1 | 35 SF | 1.1% | 4. SECONDARY ENTRY/ARCH. ELEMENT WIDTH: | 3.825' | |
| S-2 | 324 SF | 10.0% | 5. PROJECTION HEIGHT: | 3.825' | |
| MT-1 | 177 SF | 5.5% | | | |
| TOTAL | 3,234 SF | 100% | | | |

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2026.

WITNESS OUR HANDS, this ____ day of ____, 2026.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

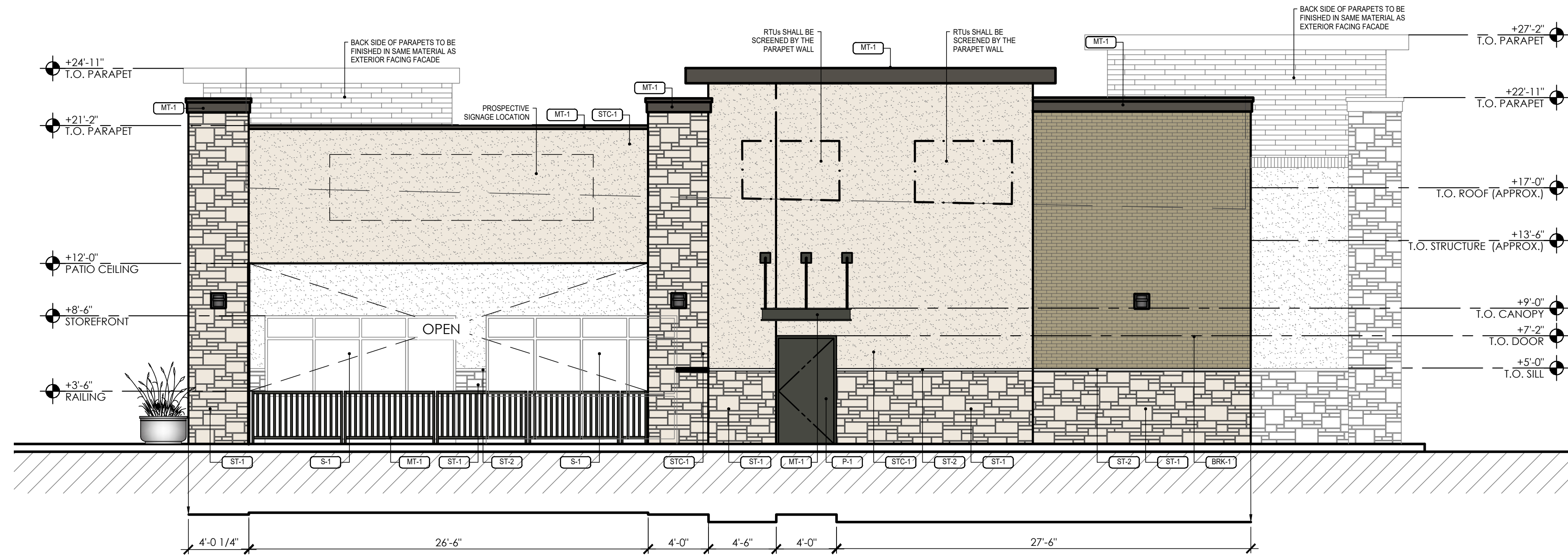
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| BY | REVISION DESCRIPTION | DATE |
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| | | |
| | | |

EXTERIOR ELEVATIONS
CREEKSIDE COMMONS STRIP CENTER
NWC STATE HIGHWAY 205 & FM 549
ROCKWALL, TEXAS 75032

CITY PROJECT #SP2026-010
March 13, 2026

SHEET
A2.0



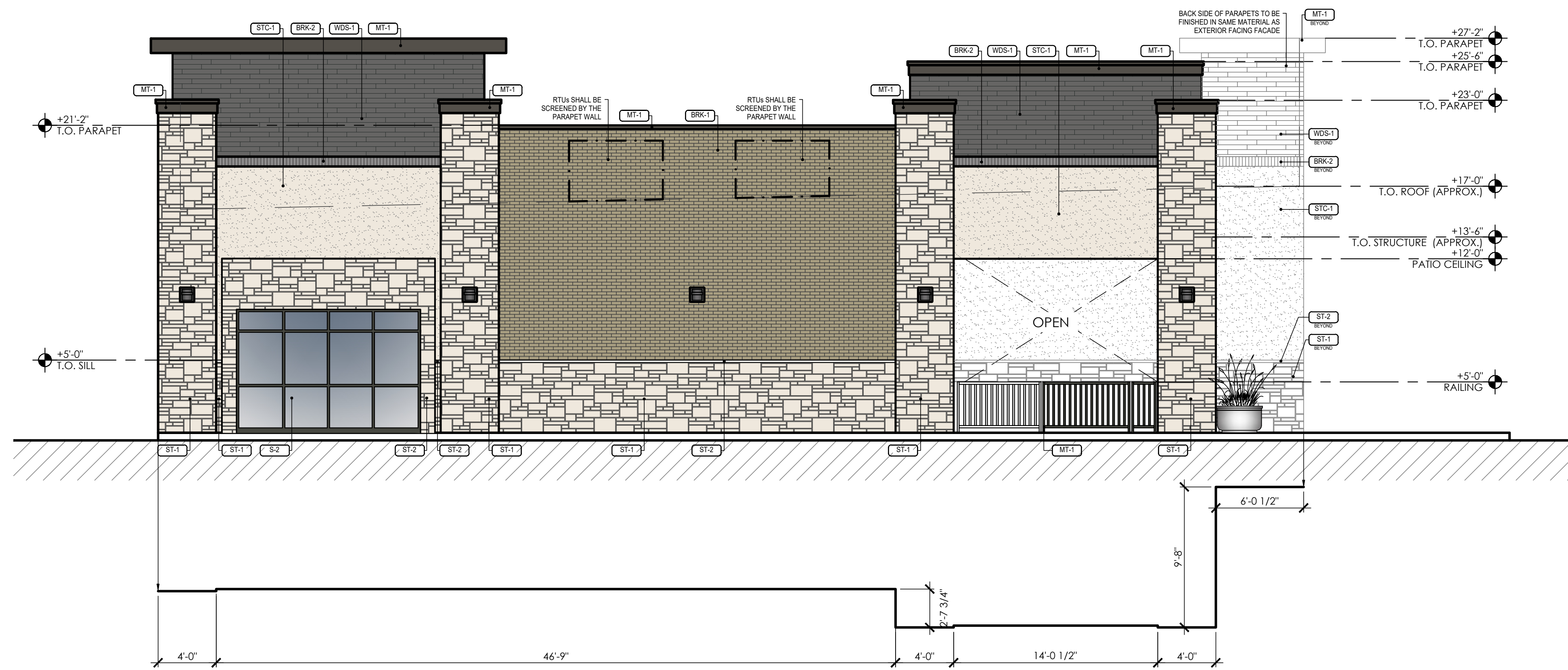
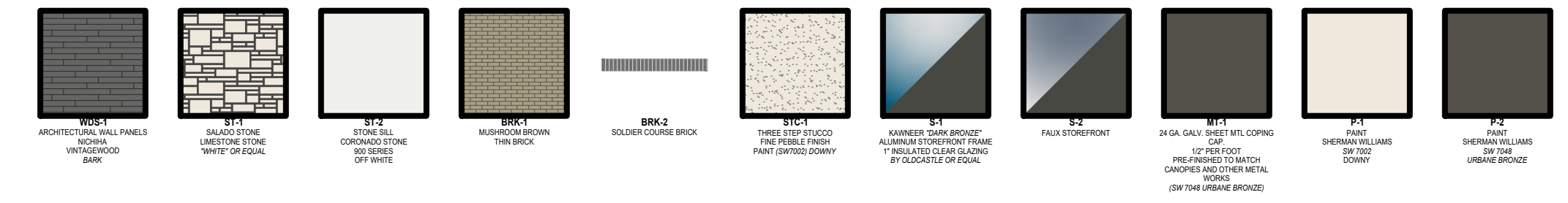
| EAST ELEVATION MATERIALS | SQ. FT. | PERCENT |
|--------------------------|-----------------|-------------|
| WDS-1 | 0 SF | 0.0% |
| ST-1 | 376 SF | 22.1% |
| ST-2 | 6 SF | <1.0% |
| BRK-1 | 247 SF | 14.5% |
| BRK-2 | 0 SF | 0.0% |
| STC-1 | 787 SF | 46.2% |
| S-1 | 216 SF | 12.7% |
| S-2 | 0 SF | 0.0% |
| MT-1 | 70 SF | 4.3% |
| TOTAL | 1,702 SF | 100% |

| MATERIAL BREAKDOWN | SQ. FT. | PERCENT |
|-----------------------|----------|---------|
| PRIMARY MATERIALITY | 1,632 SF | 95.8% |
| SECONDARY MATERIALITY | 70 SF | 4.2% |

| SECONDARY FACADE ARTICULATION | |
|--|---------|
| 1. WALL HEIGHT: | 25.5' |
| 2. WALL LENGTH: | 76.5' |
| 3. SECONDARY ENTRY/ARCH. ELEMENT LENGTH: | 11.475' |
| 4. SECONDARY ENTRY/ARCH. ELEMENT WIDTH: | 3.825' |
| 5. PROJECTION HEIGHT: | 3.825' |

03 SIDE ELEVATION
 3/16" = 1"=0"

FINISH SCHEDULE



| WEST ELEVATION MATERIALS | SQ. FT. | PERCENT |
|--------------------------|-----------------|-------------|
| WDS-1 | 264 SF | 13.0% |
| ST-1 | 692 SF | 34.1% |
| ST-2 | 10 SF | <1.0% |
| BRK-1 | 434 SF | 21.4% |
| BRK-2 | 23 SF | 1.1% |
| STC-1 | 426 SF | 21.0% |
| S-1 | 0 SF | 0.0% |
| S-2 | 108 SF | 5.4% |
| MT-1 | 76 SF | 3.8% |
| TOTAL | 2,033 SF | 100% |

| MATERIAL BREAKDOWN | SQ. FT. | PERCENT |
|-----------------------|----------|---------|
| PRIMARY MATERIALITY | 1,693 SF | 83.3% |
| SECONDARY MATERIALITY | 340 SF | 16.7% |

| PRIMARY FACADE ARTICULATION | |
|--|---------|
| 1. WALL HEIGHT: | 25.5' |
| 2. WALL LENGTH: | 76.5' |
| 3. SECONDARY ENTRY/ARCH. ELEMENT LENGTH: | 19.125' |
| 4. WALL PROJECTION: | 6.375' |
| 5. PRIMARY ENTRY/ARCH. ELEMENT LENGTH: | 38.25' |
| 6. PROJECTION HEIGHT: | 6.375' |
| 7. PRIMARY ENTRY/ARCH. ELEMENT LENGTH: | 38.25' |

04 SIDE ELEVATION
 3/16" = 1"=0"

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2026.
 WITNESS OUR HANDS, this ____ day of ____, 2026.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

EXTERIOR ELEVATIONS
 LOT 19, BLOCK A, CREEKSIDE COMMONS ADDITION
 NWC STATE HIGHWAY 205 & F.M. 549
 A 1.412 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT #SP2026-010
 March 13, 2026

[24x36] (18a.dwg) Drawing name: L:\PRUDENT DEVELOPMENT\2025\250-284 - Creekside Commons (Strip Center)\01 Preliminary\Elevations\levation.dwg Apr. 07, 2026 - 11:28am

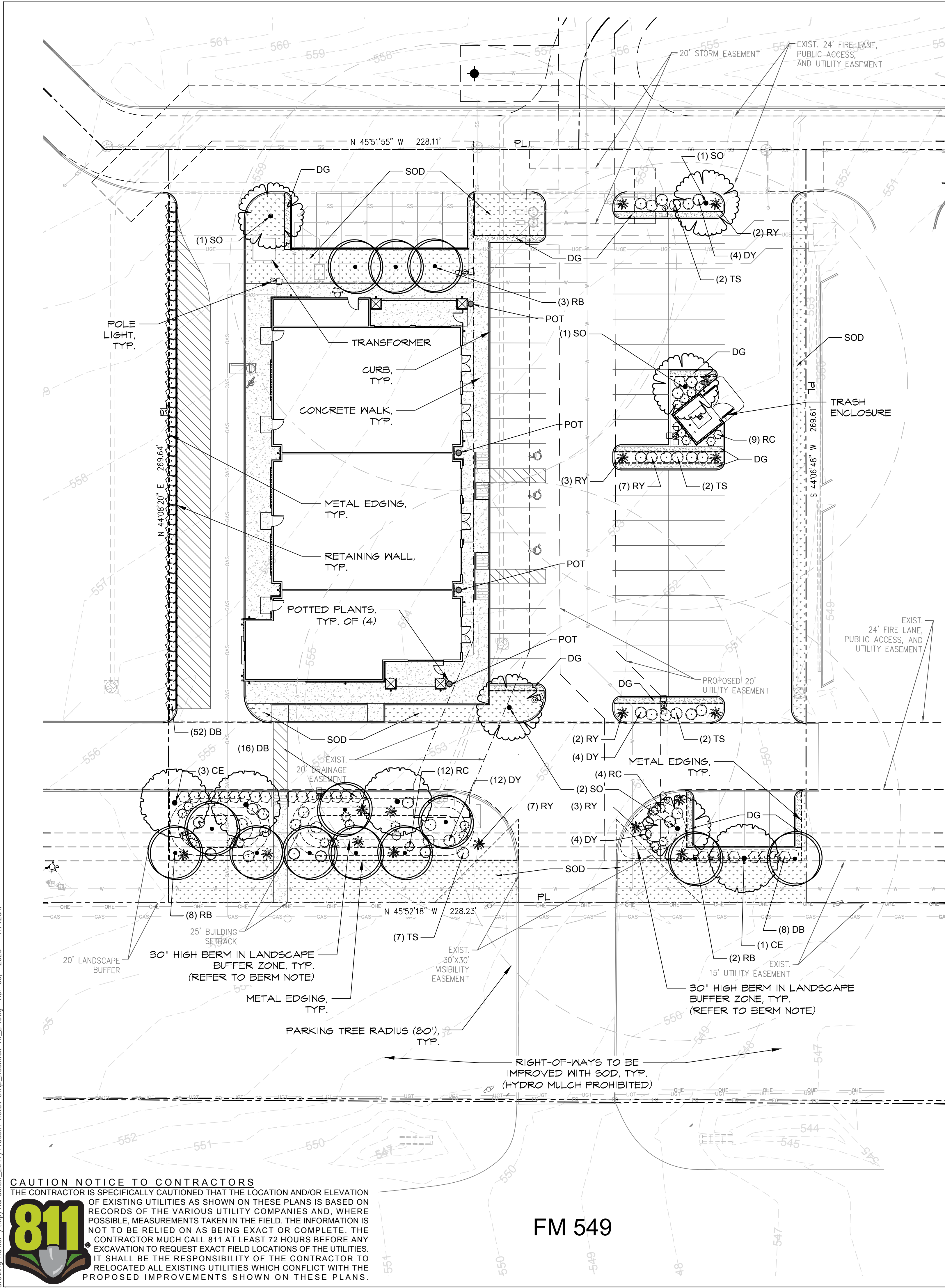
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| BY | DATE | REVISION DESCRIPTION |
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| DATE | DESCRIPTION |
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| | |

EXTERIOR ELEVATIONS
 CREEKSIDE COMMONS STRIP CENTER
 NWC STATE HIGHWAY 205 & F.M. 549
 ROCKWALL, TEXAS 75032
 SHEET
A2.1



PLANT SCHEDULE

| SYMBOL | CODE | QTY | BOTANICAL / COMMON NAME | CAL. | |
|--|------|----------|--|-------------|--------|
| CANOPY TREES | | | | | |
| | SO | 5 | Quercus shumardii
Shumard Red Oak | 4" Cal. | |
| | CE | 4 | Ulmus crassifolia
Cedar Elm | 4" Cal. | |
| ACCENT TREES | | | | | |
| | RB | 13 | Cercis canadensis texensis
Texas Redbud | Min. 6' Ht. | |
| SYMBOL CODE QTY BOTANICAL / COMMON NAME CONTAINER SPACING | | | | | |
| SHRUBS | | | | | |
| | RY | 17 | Hesperaloe parviflora
Red Yucca | 5 GAL | 36" OC |
| | DB | 76 | Ilex cornuta 'Burfordii Nana'
Dwarf Burford Holly | 5 GAL | 36" OC |
| | DY | 31 | Ilex vomitoria 'Nana'
Dwarf Yaupon Holly | 5 GAL | 36" OC |
| | RC | 28 | Abelia x grandiflora 'Rose Creek'
Rose Creek Abelia | 5 GAL | 36" OC |
| | TS | 13 | Leucophyllum frutescens 'Compacta'
Compact Texas Sage | 5 GAL | 36" OC |
| GROUNDCOVER | | | | | |
| | DG | 570 sf | Decomposed Granite | | |
| SOD/SEED | | | | | |
| | SOD | 5,790 sf | Cynodon 'TifTuf'
TifTuf Hybrid Bermuda Grass | | |
| POTTED PLANTS | | | | | |
| | POT | 4 | Varied Seasonal Color | | |

LANDSCAPE CALCULATIONS

| | |
|--|------------------------|
| OVERALL SITE: | 61,520 SF (1.41 ACRES) |
| PERMITTING AUTHORITY: | CITY OF ROCKWALL, TX |
| ZONING: | (C) COMMERCIAL |
| IMPERVIOUS AREA: | 50,094 SF |
| LANDSCAPE AREA: | 11,426 SF |
| LANDSCAPE REQUIREMENTS: | |
| SITE LANDSCAPE SF REQUIRED (20% OF TOTAL SITE): | 12,304 SF (20%) |
| PROVIDED: | 11,426 SF (18.6%) |
| POTENTIAL XERISCAPE / SMARTSCAPE CREDIT = 2.5% (18.6% + 2.5%) = 21% | |
| LANDSCAPE BUFFER - FM 549: | 228 LF |
| FRONTAGE TREES REQUIRED (228 / 100 = 2.28): | 5 CANOPY / 10 ACCENT |
| (2 CANOPY TREES AND 4 ACCENT TREES / 100 LF OF FRONTAGE) | |
| PROVIDED: | 5 CANOPY / 10 ACCENT |
| PARKING LOT LANDSCAPE: | 60 PARKING SPACES |
| 1 CANOPY TREE / 10 PARKING SPACES | |
| REQUIRED TREES (60 / 10 = 6): | 6 TREES |
| PROVIDED: | 6 TREES |

LANDSCAPE PLAN

LOT 19, BLOCK A, CREEKSIDE COMMONS ADDITION
 NWC STATE HIGHWAY 205 & F.M. 549
 A 1.412 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT #SP2026-010
 April 6th, 2026

ENGINEER/APPLICANT
 THE DIMENSION GROUP
 10755 SANDHILL ROAD
 DALLAS, TX, 75238
 PHONE: (214) 343-9400
 CONTACT: KEATON L. MAI, PE

OWNER
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 PHONE: (214) 271-4630
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DEVELOPER
 PRUDENT DEVELOPMENT
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 PHONE: (214) 271-4630
 CONTACT: MICHAEL HAMPTON

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____ 2026.

WITNESS OUR HANDS, this ____ day of ____ 2026.

 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR AGREES THAT HE HAS READ AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN) TO BE REGRADED TO FINISH GRADE.
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - IF SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGNOSTIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL SOLID SOD IN ALL RIGHT-OF-WAYS AND PARKWAYS (UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION) AND SHALL PROVIDE WATERING AND MAINTENANCE UNTIL THE TURF IS ESTABLISHED AND HAS BEEN ACCEPTED BY OWNER. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
 - AFTER FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, CONTRACTOR IS TO PROVIDE SUGGESTED MAINTENANCE, WATERING SCHEDULE, WEEDING SCHEDULE, AND FERTILIZATION SCHEDULE.
 - SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

IRRIGATION CONCEPT

- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
- THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
- ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
- IRRIGATION WILL MEET THE REQUIREMENTS OF UDC.

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING, CURBS, WATER, STORM, OR SANITARY SEWER UTILITIES. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 2" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING & IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

BERM IN BUFFER ZONE

30" HIGH BERM IN LANDSCAPE BUFFER ZONE - GRADED W/ 3:1 SLOPES, USE CLEAN FILL AS BASE, ADD 6"-10" OF GARDEN SOIL TO TOP OF BERM AND BLEND INTO THE TOP 4"-8" OF FILL TO AVOID CREATING A HARDPAN LAYER. GARDEN SOIL SHALL BE A MIX OF CLEAN TOPSOIL, MANURE COMPOST, SAND, AND AGED SAW DUST. TOP WITH 3" LAYER SHREDDED WOOD MULCH.

BERM SHALL BE INSTALLED OUTSIDE OF THE EASEMENT. NO FILL SHALL OCCUR IN THE UTILITY EASEMENT.

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811

FM 549

NORTH

Scale 1" = 20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

National Presence. Local Expertise.

EVERGREEN DESIGN GROUP
 800.680.6630
 www.evergreendesigngroup.com

LANDSCAPE ARCHITECTURE
 LAND PLANNING • IRRIGATION DESIGN

THE DIMENSION GROUP
 ARCHITECTURE • CIVIL ENGINEERING • MEP ENGINEERING
 TEL: 214.343.9400 www.dimensiongroup.com

REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 3428
 04/06/2026

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| BY | REVISION DESCRIPTION | DATE |
|----|----------------------|------|
| | | |
| | | |
| | | |
| | | |

Project no. 250-284
 date 4/06/2026 - 11:42 am
 dwg, Prudent Retail Strip_Rockwall_TX_LP.dwg
 designed by
 approved by

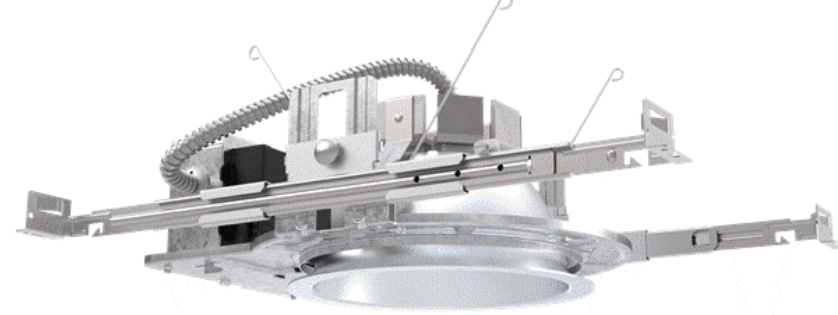
LANDSCAPE PLAN

CREEKSIDE COMMONS STRIP CENTER
 NWC STATE HIGHWAY 205 & FM 549
 ROCKWALL, TEXAS 75032

SHEET
LP-1
 CASE NUMBER: SP2026-010

| LIGHTING FIXTURE SCHEDULE | | | | | | | | | | |
|---------------------------|------|-------------------|---|------------------|--------|------|-------------|-------|--|-----|
| SYMBOL | TYPE | MANUFACTURER | CATALOG NUMBER | LAMP | LUMENS | LLF | VOLTS/PHASE | WATTS | MOUNTING HEIGHT | QTY |
| □ | SP-1 | CREE LIGHTING | OSQM-C-9L-57K7-4M-UL-BZ
SSS-4-11-CW-BS-OT-C-BZ (15'X4"X11ga. STEEL SQUARE POLE) | LED-57K7-70-CRI | 8550 | 0.81 | 120-277V, 1 | 55 | BASE: 3'-0"
POLE: 15'-0"
TOTAL: 18'-0" | 1 |
| □ | SP-2 | CREE LIGHTING | OSQM-C-22L-57K7-4B-UL-BZ
SSS-4-11-CW-BS-OT-C-BZ (15'X4"X11ga. STEEL SQUARE POLE) | LED-57K7-70-CRI | 13175 | 0.81 | 120-277V, 1 | 131 | BASE: 3'-0"
POLE: 15'-0"
TOTAL: 18'-0" | 1 |
| □ | SP-3 | CREE LIGHTING | OSQM-C-11L-57K7-4B-UL-BZ
SSS-4-11-CW-BS-OT-C-BZ (15'X4"X11ga. STEEL SQUARE POLE) | LED-57K7-70-CRI | 6600 | 0.81 | 120-277V, 1 | 204 | BASE: 3'-0"
POLE: 15'-0"
TOTAL: 18'-0" | 1 |
| □ | SP-4 | CREE LIGHTING | OSQM-C-16L-57K7-4B-UL-BZ
SSS-4-11-CW-BS-OT-C-BZ (15'X4"X11ga. STEEL SQUARE POLE) | LED-57K7-70-CRI | 9575 | 0.81 | 120-277V, 1 | 97 | BASE: 3'-0"
POLE: 15'-0"
TOTAL: 18'-0" | 2 |
| □ | SP-5 | CREE LIGHTING | OSQM-C-16L-57K7-4B-UL-BZ
SSS-4-11-CW-BS-OT-C-BZ (15'X4"X11ga. STEEL SQUARE POLE) | LED-57K7-70-CRI | 9575 | 0.81 | 120-277V, 1 | 194 | BASE: 3'-0"
POLE: 15'-0"
TOTAL: 18'-0" | 1 |
| □ | SP-6 | CREE LIGHTING | OSQM-C-30L-57K7-4M-UL-BZ
SSS-4-11-CW-BS-OT-C-BZ (15'X4"X11ga. STEEL SQUARE POLE) | LED-57K7-70-CRI | 28500 | 0.81 | 120-277V, 1 | 175 | BASE: 3'-0"
POLE: 15'-0"
TOTAL: 18'-0" | 1 |
| □ | SP-7 | CREE LIGHTING | OSQM-C-9L-57K7-4B-UL-BZ
SSS-4-11-CW-BS-OT-C-BZ (15'X4"X11ga. STEEL SQUARE POLE) | LED-57K7-70-CRI | 8550 | 0.81 | 120-277V, 1 | 101 | BASE: 3'-0"
POLE: 15'-0"
TOTAL: 18'-0" | 1 |
| ○ | SW | MODERN FORMS | PANDORA: WD-W30511 | LED | 418 | 0.81 | 120V,1 | 27.1 | BASE: 3'-0"
POLE: 15'-0"
TOTAL: 18'-0" | 21 |
| ○ | DL | LITHONIA LIGHTING | LDN6-50/10-L06-BR-LD-TRBL-MVOLT-GZ10-EL | LED-5000K-80-CRI | 759 | 0.81 | 120V,1 | 10.44 | BASE: 3'-0"
POLE: 15'-0"
TOTAL: 18'-0" | 4 |

| STATISTICS | | | | | | |
|----------------------|--------|--------|---------|--------|-----------|-----------|
| DESCRIPTION | SYMBOL | AVG. | MAX. | MIN. | MAX./MIN. | AVG./MIN. |
| SITE LEVELS | + | 1.8 FC | 13.9 FC | 0.0 FC | N/A | N/A |
| PROPERTY LINE LEVELS | + | 0.1 FC | 0.2 FC | 0.0 FC | N/A | N/A |



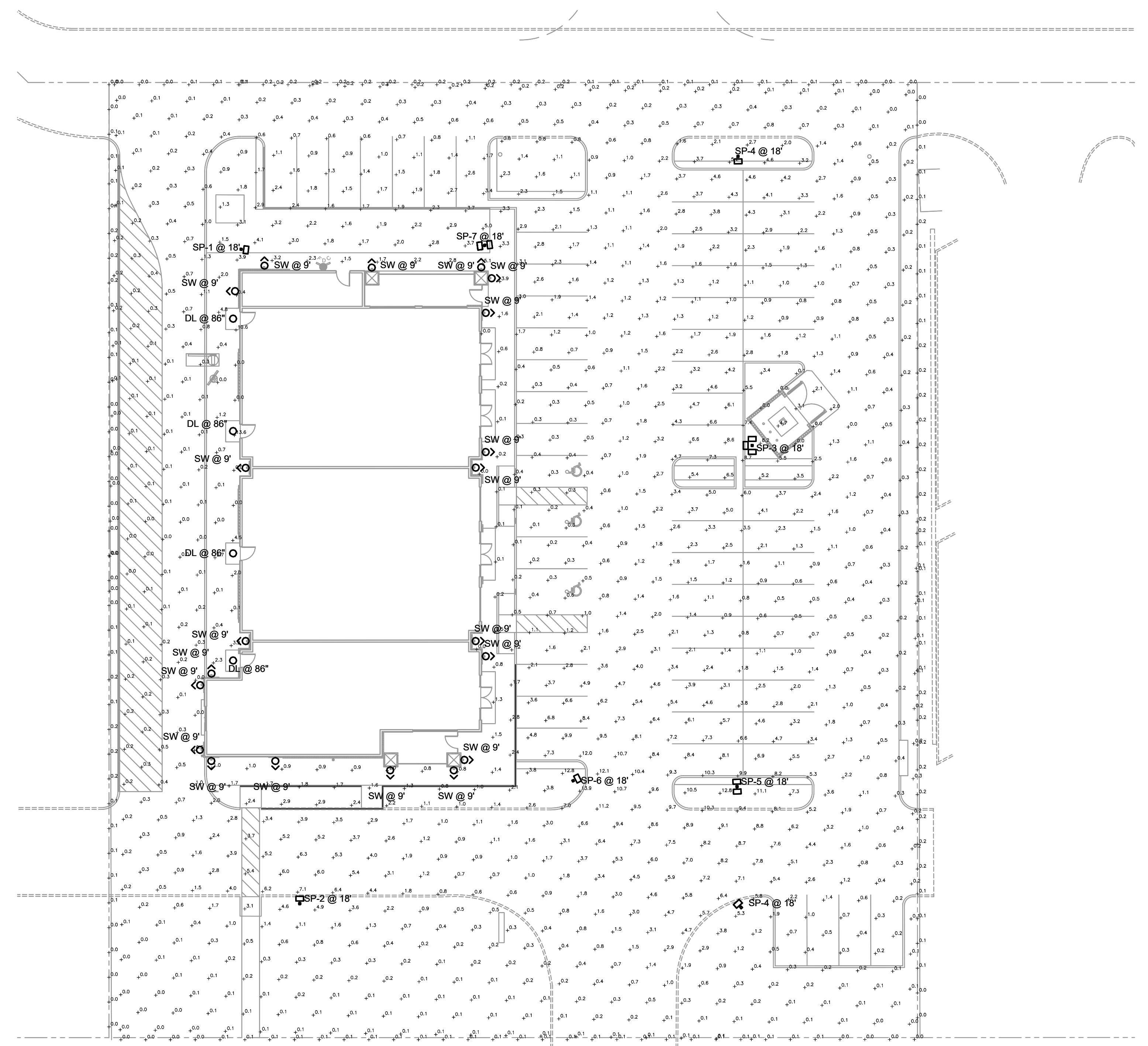
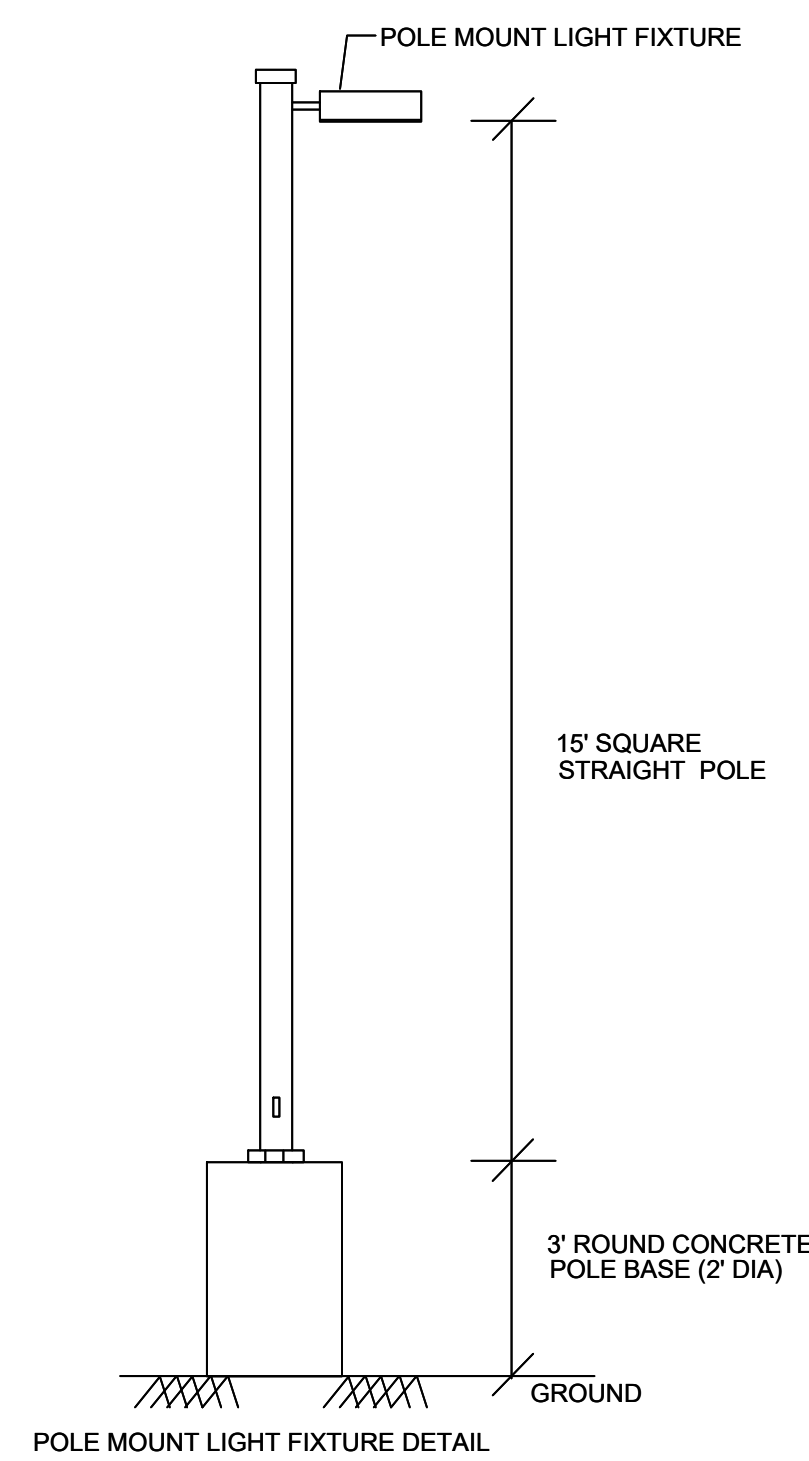
LITHONIA LIGHTING:
TYPE: DL



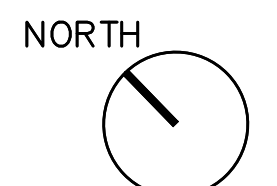
CREE LIGHTING:
TYPE: SP-1 - SP-7



MODERN FORMS:
TYPE: SW



A PHOTOMETRIC SITE PLAN
SCALE: 1" = 20'-0"



| | |
|-----------------------------------|---------------------------|
| USE | COMMERCIAL (STRIP CENTER) |
| LOT AREA | 61,520 S.F. (1.412 ACRES) |
| BUILDING SQUARE FOOTAGE | 8,580 S.F. |
| FAR | 0.06:1 |
| BUILDING HEIGHT | 27'-0" |
| TOTAL PERVIOUS COVER | 11,488 S.F. OR 19% |
| TOTAL IMPERVIOUS COVER | 50,052 S.F. OR 81% |
| RESTAURANT PARKING REQUIRED | 25 SPACES (1/100 G.F.A.) |
| PERSONAL SERVICE PARKING REQUIRED | 14 SPACES (1/250 G.F.A.) |
| MEDICAL PARKING REQUIRED | 16 SPACES (1/200 G.F.A.) |
| TOTAL PARKING REQUIRED | 55 SPACES |
| PARKING PROVIDED | 60 SPACES |
| HANDICAP PARKING REQUIRED | 3 SPACE |
| HANDICAP PARKING PROVIDED | 3 SPACE |

PHOTOMETRIC PLAN
 LOT 19, BLOCK A, CREEKSIDE COMMONS ADDITION
 NWC STATE HIGHWAY 205 & F.M. 549
 A 1.412 ACRE TRACT OF LAND IN THE
 WILLIAM W. FORD SURVEY, ABST. NO 80
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT #SP2026-010
 APRIL 6, 2026

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____ 2026.
 WITNESS OUR HANDS, this ____ day of ____, 2026.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

CAUTION NOTICE TO CONTRACTORS
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| BY | REVISION | DESCRIPTION |
|----|----------|-------------|
| DW | | drawn by |
| DW | | designed by |
| AH | | approved by |

PHOTOMETRIC SITE PLAN
 CREEKSIDE COMMONS STRIP CENTER
 NWC STATE HIGHWAY 205 & FM 549
 ROCKWALL, TEXAS 75032

OSQ Series

OSQ® LED Area/Flood Luminaire featuring Patented NanoComfort® Technology – Version C

Rev. Date: V17 08/13/2025

Product Description

The OSQ® Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weathertight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. Medium is suitable upgrade for HID applications up to 400 Watts. Large is suitable upgrade for HID applications up to 1000 Watts. Extra Large is suitable upgrade for HID applications up to multiple 1000 Watts.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, pickleball courts, high-mast and internal roadways

Performance Summary

Utilizes Patented NanoComfort® Technology

Utilizes Cree TrueWhite® Technology on 5000K Luminaires

Assembled in the USA by Cree Lighting from US and imported parts

Initial Delivered Lumens: 4,000 - 85,000

Efficacy: Up to 171 LPW

Input Power: 13 - 499W

CRI: Minimum 70 CRI (3000K, 4000K & 5700K); 90 CRI (5000K); 50 CRI (1900K)

CCT: 1900K, 3000K, 4000K, 5000K, 5700K

Limited Warranty*: 10 years for luminaire; 10 years for Colorfast DeltaGuard® finish; 5 years for BML sensor; up to 5 years for Synapse® accessories; 1 year for luminaire accessories and replacement kits

* See <https://www.creeighting.com/resources/warranties/> for warranty terms. For Synapse accessories, consult Synapse spec sheets for details on warranty terms.

Ordering Information*

Fully assembled luminaire is composed of two components that must be ordered separately:

Example: **Mount:** OSQ-ML-C-AA-BK + **Luminaire:** OSQM-C-4L-30K7-2M-UL-NM-BK

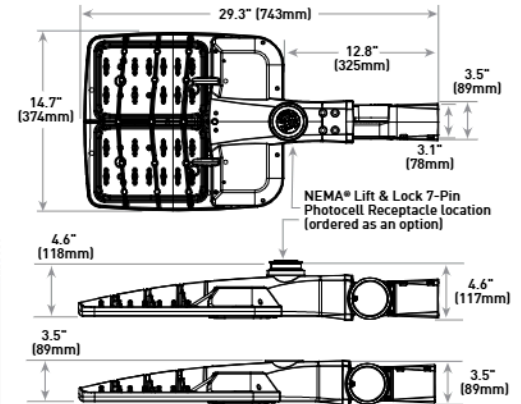
| Mount (Luminaire must be ordered separately)* | | | |
|---|--|-----------------------|--|
| OSQ- | | | |
| Medium/Large Mounts
OSQ-ML-C-AA Adjustable Arm
OSQ-ML-C-DA Direct Arm
OSQ-MLX-C-OU Universal Direct Arm w/Adjustable Bolt Spacing
OSQ-MLX-C-HU Universal Direct Arm w/4-Bolt Drill Pattern
[Matches existing THE EDGE® High Output Luminaires w/ EHO-UNV Mount]**
OSQ-ML-C-TM Trunnion Mount | Extra Large Mounts
OSQ-X-C-AA Adjustable Arm
OSQ-X-C-DA Direct Arm
OSQ-MLX-C-OU Universal Direct Arm w/Adjustable Bolt Spacing
OSQ-MLX-C-HU Universal Direct Arm w/4-Bolt Drill Pattern [Matches existing THE EDGE® High Output Luminaires w/EHO-UNV mount]** | Color Options: | SV Silver
BZ Bronze
BK Black
WH White |

* Please refer to page 30 for DarkSky Compliant Ordering Information table.

** Reference fixture mounting drill pattern, EPA, and pole configuration suitability data beginning on page 13.

*** Not for use with THE EDGE® High Output luminaires w/DM Mount.

OSQM - AA Mount



| Luminaire | Weight |
|-----------|-------------------|
| OSQM | 19.3 lbs. (8.8kg) |

Note: For OSQL, OSQX and additional mounts, refer to drawings beginning on page 28.

Luminaire (Mount must be ordered separately)

| Family | Size | Series | Lumen Package† | CCT/CRI | Optic | Voltage | Mounting | Finish | Controls* | Options | |
|--------|--|--------|--|---|---|---|--|---|--|---|--|
| OSQ | M
Medium
L
Large
X
Extra
Large | C | Medium
4L
4,000 Lumens
6L
6,000 Lumens
9L
9,000 Lumens
11L
11,000 Lumens
14L
14,000 Lumens
16L
16,000 Lumens | 19K5
1900K
50 CRI
- Available only with 14L, 30L & 45L lumen packages
30K7
3000K
70 CRI
40K7
4000K
70 CRI
50K9
5000K
70 CRI
22L
22,000 Lumens
30L
30,000 Lumens
40L
40,000 Lumens | 2M
Type II Mid
Type II Mid w/Factory-Installed Backlight Shield
Type III Mid
3M
Type III Mid w/Factory-Installed Backlight Shield
4M
Type IV Mid
4B**
Type IV Mid w/Factory-Installed Backlight Shield
with all lumen packages except 85L
SL
Type V Long
5M
Type V Mid
5N
Type V Narrow | AF
Automotive FrontlineOptic™
AB**
Automotive Frontline Optic™ w/Factory-installed Backlight Shield
- Available with all lumen packages except 85L
33
NEMA® 3x3
44
NEMA® 4x4
55
NEMA® 5x5
66
NEMA® 6x6
75
NEMA® 7x5 | UL
Universal
120-277V
UH
Universal
347-480V
- Not available with 4L, 42L, 75L or 85L lumen packages
UE
Universal
277-480V
- Available only with 40L, 75L and 85L lumen packages when ordered with 0-10V dimming, BML, NS/NS2, 09 Field Adjustable or X5 Locked Lumen controls
- Available only with 14L-40L lumen packages when ordered with DLJ or Z1 controls | NM
No Mount
- Must specify mount from table above
- Mount ships separately | BK
Black
BZ
Bronze
SV
Silver
WH
White | BML
Blueooth® Technology Enabled Multi-Level Sensor
- Utilizes a multifunction sensor
- Refer to BML spec sheet for details
- 20-40° sensor lens installed on luminaire; 8-20° sensor lens and aisle shield included
- Intended for downlight applications at 0° tilt
- Not available with other controls or Synapse TL7-HVG accessory
DLI
DALI® Compatible
- Utilizes DALI 2™ and DALI 4™ driver that dims to 10%
- Available only with 4L-40L lumen packages [UL] and 16L-40L lumen packages [UE]
- Not available with other controls
NS
Network Sensor, 20-40° Mounting Height
NS2
Network Sensor, 10-30° Mounting Height
- Utilizes a multifunction sensor
- Refer to PML/NS spec sheet for details
- Intended for downlight applications at 0° tilt
- NS for use only with OSQJ & OSQK
- NS2 for use only with OSQM & OSQL
- Not for use with other controls
- Requires TL7-HVG Synapse Control Accessory [see page 2] and either N or R option
- XX-SENSREM Hand-held Remote Accessory [see page 2] required only for changing sensitivity or time delay settings. Dimming changes handled through the TL7-HVG
09/08/07/04/05/04/03/02/01 Field Adjustable Output
- Must select 09, 08, 07, 06, 05, 04, 03, 02, or 01
- Offers full range adjustability
- Refer to pages 16-27 for power and lumen values
- Not available with other controls or Synapse TL7-HVG accessory
X8/X7/X6/X5/X4/X3/X2/X1 Locked Lumen Output
- Must select X8, X7, X6, X5, X4, X3, X2, or X1
- Not available with other controls
- X1 option not available with the following lumen package/voltage offerings: 9L/UL, 16L/UL, 16L/UL, 30L/UL, 30L/UL, 45L/UL, 65L/UL
Z1 Zhaga® Book 18 Socket, bottom of luminaire
- Utilizes DALI 2™ or DALI 4™ driver that dims to 10%
- Includes cap. Zhaga sensor is available as an accessory [see Accessory table on page 2] or by others
- Intended for downlight applications at 0° tilt
- Available only with 4L-40L lumen packages [UL] and 16L-40L lumen packages [UE]
- Not available with other controls | 20KV
20KV/10KA Surge Suppression
- Replaces standard 10kV/5kA surge protection
- Not available with NS/NS2 options
F
Fuse
- Compatible with 120V, 277V or 347V (phase to neutral)
- Consult factory if fusing is required for 208V, 240V or 480V (phase to phase)
N
When code dictates fusing, use time delay fuse
Utility Label and NEMA® Lift & Lock 7-Pin Photocell Receptacle
- External utility label per ANSI C136.15-2020
- 7-pin receptacle per ANSI C136.41
- Available only with OSQM & OSQJ luminaires
- Intended for downlight applications with maximum 45° tilt
- Factory connected 0-10V dim leads
- Requires photocell or shading cap by others
R
NEMA® Lift & Lock 7-Pin Photocell Receptacle
- 7-pin receptacle per ANSI C136.41
- Intended for downlight applications with maximum 45° tilt
- Factory connected 0-10V dim leads
- Requires photocell or shading cap by others
- Refer to page 2 for compatible Synapse control offerings
RL
Reseal Left
- LED and optic are rotated to the left
- Refer to RR/RL configuration diagram on page 28 for spec. directionality
- May be used with factory-installed backlight shield optics [2B, 3B, 4B, AB]
- Not for use with 5L, 5M, 5N, 33, 44, 55, 66 or 75 optics
RR
Reseal Right
- LED and optic are rotated to the right
- Refer to RR/RL configuration diagram on page 28 for spec. directionality
- May be used with factory-installed backlight shield optics [2B, 3B, 4B, AB]
- Not for use with 5L, 5M, 5N, 33, 44, 55, 66 or 75 optics |

* Please refer to page 30 for DarkSky Compliant Ordering Information table.

† Lumen Package codes identify approximate light output only. Actual lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values.

** Luminaire comes standard with 0-10V dimming.

*** Factory-installed backlight shields are integral to luminaire optic and may not be removed in the field. For field-install backlight control, please refer to the External Backlight Shields in the accessory table on page 2.



Website: creeighting.com
US: (800) 236-6800 Canada: (800) 473-1234

Product Specifications

CREE LIGHTING NANOCOMFORT® TECHNOLOGY

Cree Lighting's NanoComfort® Technology ends the trade-offs in outdoor lighting by providing superior glare reduction and visual comfort in high-efficiency illumination delivered precisely where it is needed. The basic building block of NanoComfort® Technology is a compact 4x4 array of LEDs. Each of the 16 LEDs in a module is in contact with its own acrylic polymer lens to capture and precisely direct light. With NanoComfort® Technology, the acrylic optics are cut and sculpted into facets that relieve the glare and harshness while improving visual comfort – all while retaining superb efficacy and control.

CREE TRUEWHITE® TECHNOLOGY

A revolutionary way to generate high-quality white light, Cree TrueWhite® Technology is a patented approach that delivers an exclusive combination of 90+ CRI, brilliant light characteristics and lifelong color consistency, all while maintaining high luminous efficacy – a true no compromise solution.

CONSTRUCTION & MATERIALS

- Slim, low profile design minimizes wind load requirements
- Luminaire housing is rugged die cast aluminum with an integral, weathertight LED driver compartment and high-performance heat sink
- Acrylic optic w/clear tempered glass lens
- Some versions are provided with full circuit board, but not fully populated with LEDs or optics to scale back lumen package. Refer to page 29 for details
- Direct arm mounts feature a convenient interlocking mounting method. Mounting adaptor is rugged die cast aluminum and mounts to 3" (76mm) or larger square or round pole. Refer to page 15 for fixture mounting drill patterns
- OSQ-ML-C-DA secures with two 5/16-18 UNC bolts spaced on 2" (51mm) centers
- OSQ-X-C-DA secures with two 7/16-14 UNC bolts spaced on 2" (51mm) centers
- OSQ-MLX-C-0U features adjustable bolt spacing ranging from 2" - 5" on-center and secures with two 3/8-16 UNC bolts
- OSQ-MLX-C-HU utilizes a four-bolt drill pattern specifically designed for use with poles previously drilled for THE EDGE® High Output luminaires with EHO-UNV mount. Four 5/16-18 UNC bolts secure the luminaire to the pole. This mount is not compatible with THE EDGE® High Output luminaires with DM mount
- Adjustable arm mount adapters are rugged die cast aluminum
- OSQ-ML-C-AA mounts to a horizontal or vertical 2" (51mm) IP, 2.375" (60mm) O.D. tenon and can be adjusted 180° in 2.5° increments
- OSQ-X-C-AA mounts to a horizontal or vertical 2" (51mm) IP, 2.375-2.50" (60-64mm) O.D. steel tenon and can be adjusted 180° in 5.0° increments. **NOTE: Tenon length must be a minimum of 3.75" (95mm), and tenon must be steel.**
- Trunion mount is constructed of A500 and A1011 steel and is adjustable from 0-180° in 15° degree increments. Trunion mount secures to surface with (1) 3/4" bolt or (2) 1/2" or 3/8" bolts
- Luminaires include 15' (381mm) 18/5 cord exiting the luminaire
- Designed for uplight and downlight applications. Uplight orientation not suitable for use with N or R options
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available

| Weight | | | |
|--------|--------------------|--------------------|--------------------|
| Mount | Housing Size | | |
| | Medium | Large | Extra Large |
| DA | 19.7 lbs. (8.9kg) | 28.8 lbs. (13.1kg) | 45.8 lbs. (20.8kg) |
| OU | 20.6 lbs. (9.4kg) | 29.7 lbs. (13.5kg) | 45.7 lbs. (20.8kg) |
| HU | 20.3 lbs. (9.2kg) | 29.4 lbs. (13.3kg) | 45.4 lbs. (20.6kg) |
| AA | 19.3 lbs. (8.8kg) | 28.4 lbs. (12.9kg) | 48.6 lbs. (22.0kg) |
| TM | 23.2 lbs. (10.5kg) | 32.3 lbs. (14.7kg) | N/A |

- For BML sensor add 0.1 lbs. (45g), and for NEMA receptacle, add 0.3 lbs. (136g).
- Includes QR code on the inside of the driver cover which provides access to: Online installation instructions, Luminaire information (Part number, Serial number, Build date, and Warranty end date), and Warranty claim submission form
- Duplicate 1" and 2" QR code labels are included. 1" labels can be affixed inside pole bases, next to fixtures, on site plans, or in maintenance records. 2" labels can be scanned from the ground when placed at an appropriate height

ELECTRICAL SYSTEM

- **Input Voltage:** 120-277V, 277-480V or 347-480V, 50/60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral 10kV/5kA surge suppression protection standard; 20kV/10kA surge suppression protection optional
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- Designed with 0-10V dimming capabilities. Dims to 10%. Controls by others
- 0-10V dimming per ANSI C137.1-2019 (8-Volt or 9-Volt per power level/options selected)
- Refer to [Dimming spec sheet](#) for details
- **Maximum 10V Source Current:** 1.8mA
- **Operating Temperature Range:** -40°C - +40°C [-40°F - +104°F]

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed (UL1598)
- Suitable for wet locations
- Meets NEMA C82.77 standards
- Drivers and LEDs are UL certified in accordance with UL8750
- Requires minimum 90°C supply conductors
- Luminaire meets requirements of IP66 per IEC 60529 when ordered without N or R options
- Certified to ANSI C136.31-2018, 3G bridge and overpass vibration standards
- ANSI C136.2 10kV/5kA (standard) and 20kV/10kA (optional) surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A limits for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Lens meets IK07 requirements per IEC 60068-2
- Assembled in the USA by Cree Lighting from US and imported parts
- Some configurations meet requirements of BAA and/or BABA. Consult factory when needed for a project: www.creelighting.com/BAA-BABA
- RoHS compliant. Consult factory for additional details
- DarkSky Approved when ordered with 19K and 30K CCTs and direct arm mount only. Please refer to page 30 for DarkSky Compliant Ordering Information and <https://darksky.org/what-we-do/darksky-approved/products-companies/#/1-search/keyword=cree> for most current information
- DLC and DLC Premium qualified SKUs available. Exceptions apply when 2B, 3B, 4B & AB optics or 19KS CCT is selected. Please refer to <https://apl.designtlights.org/solid-state-lighting> for most current information
- DLC Luna qualified when ordered with 4L-40L lumen packages with direct arm mount and 30K7 CCT. Please refer to <https://apl.designtlights.org/solid-state-lighting> for most current information
- **CA RESIDENTS WARNING:** Cancer and Reproductive Harm – www.p65warnings.ca.gov

Product Specifications

SYNAPSE® SIMPLYSNAP INTELLIGENT CONTROL

The Synapse SimplySNAP platform is a highly intuitive connected lighting solution featuring zone dimming, motion sensing, and daylight harvesting with utility-grade power monitoring and support of up to 1000 nodes per gateway. The system features a reliable and robust self-healing mesh network with a browser-based interface that runs on smartphones, tablets, and PCs. The Twist-Lock Lighting Controller (TL7-HVG) and Site Controller (SS450-002) take the OSQ Series to a new performance plateau, providing extreme energy productivity, code compliance and a better light experience.

| Synapse Wireless Control Accessories | |
|---|--|
| Twist-Lock Lighting Controller
TL7-HVG
- Suitable for 120-480V (UL, UE and UH) voltages
- Requires NEMA/ANSI C136.41 7-Pin Dimming Receptacle
- Not for use with BML or Q options
- Provides On/Off switching, dimming, power metering, digital sensor input, and status monitoring of luminaire
- Refer to TL7-HVG spec sheet for details | Synapse Wireless Sensor
WSN-DPM
- Motion and light sensor
- Control multiple zones
- Refer to WSN-DPM spec sheet for details |
| SimplySNAP Central Base Station
CBSSW-450-002
- Includes On-Site Controller (SS450-002) and 5-button switch
- Indoor and Outdoor rated
- Refer to CBSSW-450-002 spec sheet for details | SimplySNAP On-Site Controller
SS450-002
- Verizon® LTE-enabled
- Designed for indoor applications
- Refer to SS450-002 spec sheet for details |
| Building Management System (BMS) Gateway
BMS-GW-002
- Required for BACnet integration
- Refer to BMS-GW-002 spec sheet for details | |
| Outdoor Antennas (Optional, for increased range, 8dB gain)
KIT-ANT4205M
- Kit includes antenna, 20' cable and bracket
KIT-ANT360
- Kit includes antenna, 30' cable and bracket
KIT-ANT600
- Kit includes antenna, 50' cable and bracket
- Refer to Outdoor antenna spec sheet for details | |

Electrical Data*

| Lumen Package | System Watts 120-480V | Utility Label Wattage | Total Current (A) | | | | | |
|---------------|-----------------------|-----------------------|-------------------|------|------|------|------|------|
| | | | 120V | 208V | 240V | 277V | 347V | 480V |
| 4L** | 26 | 30 | 0.21 | 0.12 | 0.11 | 0.09 | N/A | N/A |
| 6L | 37 | 40 | 0.31 | 0.18 | 0.15 | 0.13 | 0.11 | 0.08 |
| 9L | 55 | 60 | 0.46 | 0.27 | 0.23 | 0.20 | 0.16 | 0.12 |
| 11L | 68 | 70 | 0.57 | 0.33 | 0.28 | 0.25 | 0.20 | 0.14 |
| 16L | 97 | 100 | 0.81 | 0.47 | 0.40 | 0.35 | 0.28 | 0.20 |
| 22L | 131 | 130 | 1.09 | 0.63 | 0.55 | 0.47 | 0.38 | 0.27 |
| 30L | 175 | 180 | 1.46 | 0.84 | 0.73 | 0.63 | 0.50 | 0.36 |
| 40L | 236 | 240 | 1.96 | 1.13 | 0.98 | 0.85 | 0.68 | 0.49 |
| 50L | 297 | N/A | 2.48 | 1.43 | 1.24 | 1.07 | 0.86 | 0.62 |
| 65L | 384 | N/A | 3.20 | 1.85 | 1.60 | 1.39 | 1.11 | 0.80 |
| 75L | 447 | N/A | 3.73 | 2.15 | 1.86 | 1.61 | 1.29 | 0.93 |
| 85L | 499 | N/A | 4.16 | 2.40 | 2.08 | 1.80 | 1.44 | 1.04 |

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-277V, 277-480V or 347-480V +/- 10%.
 ** Available with UL voltage only.

OSQ-C Series Ambient Adjusted Lumen Maintenance¹

| Ambient | CRI/CCT | Initial LMF | 25K hr Reported² LMF | 50K hr Reported² LMF | 75K hr Reported² LMF | 100K hr Reported² LMF |
|-------------|---------------------|-------------|----------------------|----------------------|----------------------|-----------------------|
| 5°C (41°F) | 19K5 | 1.02 | 0.96 | 0.91 | 0.86 | 0.82 |
| | 30K7/40K7/50K9/57K7 | 1.02 | 0.99 | 0.93 | 0.88 | 0.83 |
| 10°C (50°F) | 19K5 | 1.01 | 0.96 | 0.91 | 0.86 | 0.81 |
| | 30K7/40K7/50K9/57K7 | 1.02 | 0.98 | 0.93 | 0.87 | 0.82 |
| 15°C (59°F) | 19K5 | 1.01 | 0.95 | 0.90 | 0.86 | 0.81 |
| | 30K7/40K7/50K9/57K7 | 1.01 | 0.98 | 0.92 | 0.87 | 0.82 |
| 20°C (68°F) | 19K5 | 1.00 | 0.95 | 0.90 | 0.85 | 0.81 |
| | 30K7/40K7/50K9/57K7 | 1.01 | 0.97 | 0.92 | 0.86 | 0.81 |
| 25°C (77°F) | 19K5 | 1.00 | 0.95 | 0.90 | 0.85 | 0.80 |
| | 30K7/40K7/50K9/57K7 | 1.00 | 0.97 | 0.91 | 0.86 | 0.81 |

¹ Lumen maintenance values at 25°C (77°F) are calculated per IES TM-21 based on IES LM-80 report data for the LED package and in-situ luminaire testing. Luminaire ambient temperature factors (LATF) have been applied to all lumen maintenance factors. Please refer to the [Temperature Zone Reference Document](#) for outdoor average nighttime ambient conditions.
 ² In accordance with IES TM-21, Reported values represent interpolated values based on time durations that are up to 6x the tested duration in the IES LM-80 report for the LED.

Accessories

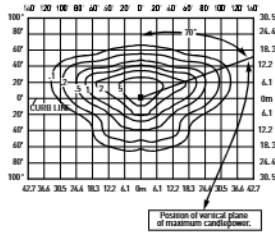
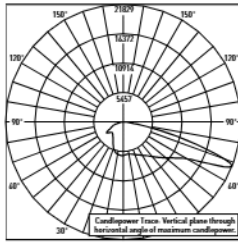
| Field-Installed | |
|--|---|
| External Backlight Shield
OSQ-M-C-BLSF (Medium)
OSQ-L-C-BLSF (Large)
OSQ-X-C-BLSF (Extra Large)
- Not for use with rotated optics
- Provides 1 mounting height backlight cutoff
- 18 ga. steel construction w/black finish
Bird Spikes
OSQ-M-C-BRDSPK (Medium)
OSQ-L-C-BRDSPK (Large)
OSQ-X-C-BRDSPK (Extra Large)
- Includes bird spikes (three rows for M/L; four rows for X) and screws to attach to housing | Shorting Cap
XA-XLSHRT
Hand-Held Remote
XA-SENSREM
- Required only for changing sensitivity or time delay with the NS or NS2 options, a minimum of one hand-held remote is required
Sensor for Zhaga® Socket (Round Detection Area)
Z25
- For use only with luminaires with Z1 option
- Refer to Zhaga Sensor spec sheet for details |



Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

2M



RESTL Test Report #: PL17910-001A
 Configured OSQ-C-xxL-30K7-2M-UL-xx-xx-xx
 Initial Delivered Lumens: 27,400

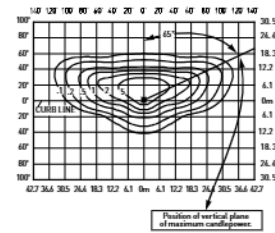
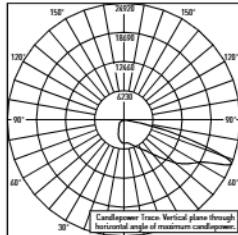
OSQL-C-30L-30K7-2M-UL
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 27,400
 Initial FC at grade

Type II Mid Distribution

| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
|---------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 3,650 | B1 U0 G1 | 3,800 | B1 U0 G1 | 2,810 | B1 U0 G1 | 3,800 | B1 U0 G1 |
| 6L | N/A | N/A | 5,475 | N/A | 5,700 | B1 U0 G1 | 4,220 | B1 U0 G1 | 5,700 | B1 U0 G1 |
| 9L | N/A | N/A | 8,225 | N/A | 8,550 | B2 U0 G2 | 6,325 | B2 U0 G2 | 8,550 | B2 U0 G2 |
| 11L | N/A | N/A | 10,025 | N/A | 10,450 | B2 U0 G2 | 7,750 | B2 U0 G2 | 10,450 | B2 U0 G2 |
| 16L | 12,000 | B2 U0 G2 | 14,650 | B3 U0 G3 | 15,200 | B3 U0 G3 | 11,275 | B2 U0 G2 | 15,200 | B3 U0 G3 |
| 22L | N/A | N/A | 20,100 | N/A | 20,900 | B3 U0 G3 | 15,500 | B3 U0 G3 | 20,900 | B3 U0 G3 |
| 30L | 22,500 | B3 U0 G3 | 27,400 | B3 U0 G3 | 28,500 | B3 U0 G3 | 21,100 | B3 U0 G3 | 28,500 | B3 U0 G3 |
| 40L | N/A | N/A | 36,500 | N/A | 38,000 | B4 U0 G4 | 28,100 | B3 U0 G3 | 38,000 | B4 U0 G4 |
| 50L | N/A | N/A | 45,600 | N/A | 47,500 | B4 U0 G4 | 35,200 | B4 U0 G4 | 47,500 | B4 U0 G4 |
| 65L | 48,500 | B4 U0 G4 | 59,300 | B4 U0 G5 | 61,800 | B4 U0 G5 | 45,700 | B4 U0 G4 | 61,800 | B4 U0 G5 |
| 75L | N/A | N/A | 68,400 | N/A | 71,300 | B5 U0 G5 | 52,800 | B4 U0 G4 | 71,300 | B5 U0 G5 |
| 85L | N/A | N/A | 77,600 | N/A | 80,800 | B5 U0 G5 | 59,800 | B4 U0 G5 | 80,800 | B5 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

2B



RESTL Test Report #: PL17977-001A
 OSQL-C-40L-30K7-2B-UL-xx-xx-xx
 Initial Delivered Lumens: 25,560

OSQL-C-40L-30K7-2B-UL
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 25,100
 Initial FC at grade

Type II Mid w/BLS Distribution (factory-installed)

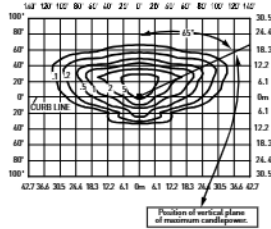
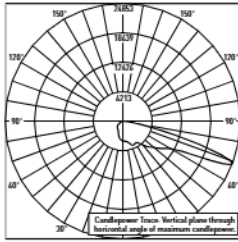
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
|---------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 2,510 | B1 U0 G1 | 2,620 | B1 U0 G1 | 1,940 | B0 U0 G1 | 2,620 | B1 U0 G1 |
| 6L | N/A | N/A | 3,760 | N/A | 3,920 | B1 U0 G1 | 2,900 | B1 U0 G1 | 3,920 | B1 U0 G1 |
| 9L | N/A | N/A | 5,650 | N/A | 5,875 | B1 U0 G1 | 4,350 | B1 U0 G1 | 5,875 | B1 U0 G1 |
| 11L | N/A | N/A | 6,900 | N/A | 7,200 | B1 U0 G2 | 5,325 | B1 U0 G1 | 7,200 | B1 U0 G2 |
| 16L | 8,250 | B1 U0 G2 | 10,075 | B1 U0 G2 | 10,450 | B2 U0 G2 | 7,750 | B1 U0 G2 | 10,450 | B2 U0 G2 |
| 22L | N/A | N/A | 13,800 | N/A | 14,375 | B2 U0 G2 | 10,650 | B2 U0 G2 | 14,375 | B2 U0 G2 |
| 30L | 15,500 | B2 U0 G2 | 18,800 | B2 U0 G2 | 19,600 | B2 U0 G3 | 14,525 | B2 U0 G2 | 19,600 | B2 U0 G3 |
| 40L | N/A | N/A | 25,100 | N/A | 26,200 | B3 U0 G3 | 19,400 | B2 U0 G2 | 26,200 | B3 U0 G3 |
| 50L | N/A | N/A | 31,400 | N/A | 32,700 | B3 U0 G4 | 24,200 | B3 U0 G3 | 32,700 | B3 U0 G4 |
| 65L | 33,400 | B3 U0 G4 | 40,800 | B3 U0 G4 | 42,500 | B3 U0 G4 | 31,500 | B3 U0 G4 | 42,500 | B3 U0 G4 |
| 75L | N/A | N/A | 47,100 | N/A | 49,000 | B3 U0 G5 | 36,300 | B3 U0 G4 | 49,000 | B3 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

2M W/OSQ-*-C-BLSF



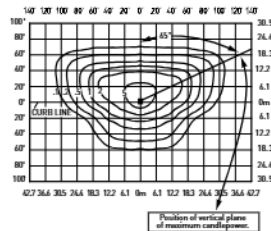
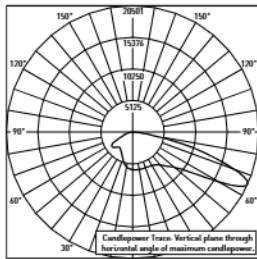
RESTL Test Report#: PL17978-001B
OSQL-C-40L-30K7-2M-UL-xx-xx-xx w/
OSQ-L-C-BLSF
Initial Delivered Lumens: 21,978

OSQL-C-40L-30K7-2M-UL w/OSQ-L-C-BLSF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 21,000
Initial FC at grade

| Type II Mid Distribution w/OSQ-*-C-BLSF (field-installed) | | | | | | | | | | |
|---|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 2,100 | B0 U0 G1 | 2,180 | B0 U0 G1 | 1,610 | B0 U0 G1 | 2,180 | B0 U0 G1 |
| 6L | N/A | N/A | 3,140 | B1 U0 G1 | 3,270 | B1 U0 G1 | 2,420 | B1 U0 G1 | 3,270 | B1 U0 G1 |
| 9L | N/A | N/A | 4,720 | B1 U0 G1 | 4,910 | B1 U0 G1 | 3,630 | B1 U0 G1 | 4,910 | B1 U0 G1 |
| 11L | N/A | N/A | 5,750 | B1 U0 G1 | 6,000 | B1 U0 G1 | 4,450 | B1 U0 G1 | 6,000 | B1 U0 G1 |
| 16L | 6,900 | B1 U0 G2 | 8,400 | B1 U0 G2 | 8,725 | B1 U0 G2 | 6,475 | B1 U0 G2 | 8,725 | B1 U0 G2 |
| 22L | N/A | N/A | 11,550 | B2 U0 G2 | 12,000 | B2 U0 G2 | 8,900 | B1 U0 G2 | 12,000 | B2 U0 G2 |
| 30L | 12,925 | B2 U0 G2 | 15,700 | B2 U0 G3 | 16,400 | B2 U0 G3 | 12,100 | B2 U0 G2 | 16,400 | B2 U0 G3 |
| 40L | N/A | N/A | 21,000 | B3 U0 G3 | 21,800 | B3 U0 G3 | 16,100 | B2 U0 G3 | 21,800 | B3 U0 G3 |
| 50L | N/A | N/A | 26,200 | B3 U0 G4 | 27,300 | B3 U0 G4 | 20,200 | B3 U0 G3 | 27,300 | B3 U0 G4 |
| 65L | 27,800 | B3 U0 G4 | 34,000 | B3 U0 G4 | 35,500 | B3 U0 G4 | 26,200 | B3 U0 G4 | 35,500 | B3 U0 G4 |
| 75L | N/A | N/A | 39,300 | B3 U0 G4 | 40,900 | B3 U0 G4 | 30,300 | B3 U0 G4 | 40,900 | B3 U0 G4 |
| 85L | N/A | N/A | 44,500 | B3 U0 G5 | 46,400 | B3 U0 G5 | 34,300 | B3 U0 G4 | 46,400 | B3 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf> Valid with no tilt

3M



RESTL Test Report #: PL17882-001A
Configured
OSQL-C-xxL-30K7-3M-UL-xx-xx-xx
Initial Delivered Lumens: 27,400

OSQL-C-30L-30K7-3M-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 27,400
Initial FC at grade

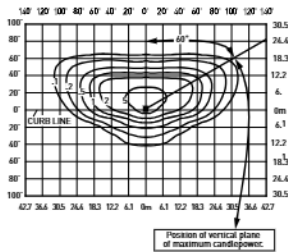
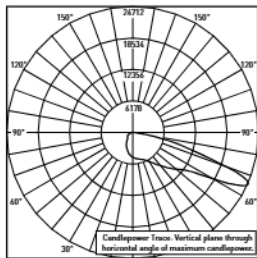
| Type III Mid Distribution | | | | | | | | | | |
|---------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 3,650 | B1 U0 G1 | 3,800 | B1 U0 G1 | 2,810 | B1 U0 G1 | 3,800 | B1 U0 G1 |
| 6L | N/A | N/A | 5,475 | B1 U0 G1 | 5,700 | B1 U0 G1 | 4,220 | B1 U0 G1 | 5,700 | B1 U0 G1 |
| 9L | N/A | N/A | 8,225 | B2 U0 G2 | 8,550 | B2 U0 G2 | 6,325 | B1 U0 G1 | 8,550 | B2 U0 G2 |
| 11L | N/A | N/A | 10,025 | B2 U0 G2 | 10,450 | B2 U0 G2 | 7,750 | B2 U0 G2 | 10,450 | B2 U0 G2 |
| 16L | 12,000 | B2 U0 G2 | 14,650 | B3 U0 G3 | 15,200 | B3 U0 G3 | 11,275 | B2 U0 G2 | 15,200 | B3 U0 G3 |
| 22L | N/A | N/A | 20,100 | B3 U0 G3 | 20,900 | B3 U0 G3 | 15,500 | B3 U0 G3 | 20,900 | B3 U0 G3 |
| 30L | 22,500 | B3 U0 G3 | 27,400 | B3 U0 G4 | 28,500 | B3 U0 G4 | 21,100 | B3 U0 G3 | 28,500 | B3 U0 G4 |
| 40L | N/A | N/A | 36,500 | B4 U0 G4 | 38,000 | B4 U0 G4 | 28,100 | B3 U0 G4 | 38,000 | B4 U0 G4 |
| 50L | N/A | N/A | 45,600 | B4 U0 G5 | 47,500 | B4 U0 G5 | 35,200 | B3 U0 G4 | 47,500 | B4 U0 G5 |
| 65L | 48,500 | B4 U0 G5 | 59,300 | B4 U0 G5 | 61,800 | B4 U0 G5 | 45,700 | B4 U0 G5 | 61,800 | B4 U0 G5 |
| 75L | N/A | N/A | 68,400 | B4 U0 G5 | 71,300 | B5 U0 G5 | 52,800 | B4 U0 G5 | 71,300 | B4 U0 G5 |
| 85L | N/A | N/A | 77,600 | B5 U0 G5 | 80,800 | B5 U0 G5 | 59,800 | B4 U0 G5 | 80,800 | B5 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf> Valid with no tilt

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

3B



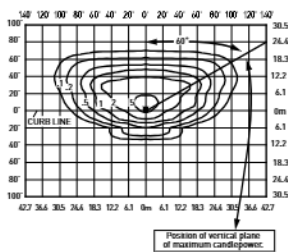
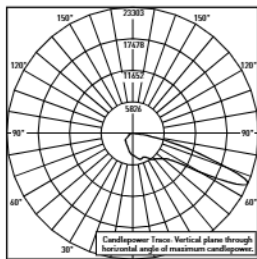
RESTL Test Report #: PL17975-001A
OSQL-C-40L-30K7-3B-UL-xx-xx-xx
Initial Delivered Lumens: 25,199

OSQL-C-40L-30K7-3B-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 25,100
Initial FC at grade

| Type III Mid w/BLS Distribution (factory-installed) | | | | | | | | | | |
|---|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 2,510 | B1 U0 G1 | 2,620 | B1 U0 G1 | 1,940 | B0 U0 G1 | 2,620 | B1 U0 G1 |
| 6L | N/A | N/A | 3,760 | B1 U0 G1 | 3,920 | B1 U0 G1 | 2,900 | B1 U0 G1 | 3,920 | B1 U0 G1 |
| 9L | N/A | N/A | 5,650 | B1 U0 G1 | 5,875 | B1 U0 G2 | 4,350 | B1 U0 G1 | 5,875 | B1 U0 G2 |
| 11L | N/A | N/A | 6,900 | B1 U0 G2 | 7,200 | B1 U0 G2 | 5,325 | B1 U0 G1 | 7,200 | B1 U0 G2 |
| 16L | 8,250 | B1 U0 G2 | 10,075 | B1 U0 G2 | 10,450 | B2 U0 G2 | 7,750 | B1 U0 G2 | 10,450 | B2 U0 G2 |
| 22L | N/A | N/A | 13,800 | B2 U0 G2 | 14,375 | B2 U0 G2 | 10,650 | B2 U0 G2 | 14,375 | B2 U0 G2 |
| 30L | 15,500 | B2 U0 G2 | 18,800 | B2 U0 G3 | 19,600 | B2 U0 G3 | 14,525 | B2 U0 G2 | 19,600 | B2 U0 G3 |
| 40L | N/A | N/A | 25,100 | B3 U0 G4 | 26,200 | B3 U0 G4 | 19,400 | B2 U0 G3 | 26,200 | B3 U0 G4 |
| 50L | N/A | N/A | 31,400 | B3 U0 G4 | 32,700 | B3 U0 G4 | 24,200 | B3 U0 G3 | 32,700 | B3 U0 G4 |
| 65L | 33,400 | B3 U0 G4 | 40,800 | B3 U0 G5 | 42,500 | B3 U0 G5 | 31,500 | B3 U0 G4 | 42,500 | B3 U0 G5 |
| 75L | N/A | N/A | 47,100 | B3 U0 G5 | 49,000 | B3 U0 G5 | 36,300 | B3 U0 G4 | 49,000 | B3 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

3M W/OSQ*-C-BLSF



RESTL Test Report#: PL17976-001A
OSQL-C-40L-30K7-3M-UL-xx-xx-xx w/
OSQ-L-C-BLSF
Initial Delivered Lumens: 22,081

OSQL-C-40L-30K7-3M-UL w/OSQ-L-C-BLSF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 21,000
Initial FC at grade

| Type III Mid Distribution w/OSQ*-C-BLSF (field-installed) | | | | | | | | | | |
|---|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 2,100 | B0 U0 G1 | 2,180 | B0 U0 G1 | 1,610 | B0 U0 G1 | 2,180 | B0 U0 G1 |
| 6L | N/A | N/A | 3,140 | B1 U0 G1 | 3,270 | B1 U0 G1 | 2,420 | B1 U0 G1 | 3,270 | B1 U0 G1 |
| 9L | N/A | N/A | 4,720 | B1 U0 G1 | 4,910 | B1 U0 G1 | 3,630 | B1 U0 G1 | 4,910 | B1 U0 G1 |
| 11L | N/A | N/A | 5,750 | B1 U0 G2 | 6,000 | B1 U0 G2 | 4,450 | B1 U0 G1 | 6,000 | B1 U0 G2 |
| 16L | 6,900 | B1 U0 G2 | 8,400 | B1 U0 G2 | 8,725 | B1 U0 G2 | 6,475 | B1 U0 G2 | 8,725 | B1 U0 G2 |
| 22L | N/A | N/A | 11,550 | B2 U0 G2 | 12,000 | B2 U0 G2 | 8,900 | B1 U0 G2 | 12,000 | B2 U0 G2 |
| 30L | 12,925 | B2 U0 G2 | 15,700 | B2 U0 G3 | 16,400 | B2 U0 G3 | 12,100 | B2 U0 G2 | 16,400 | B2 U0 G3 |
| 40L | N/A | N/A | 21,000 | B2 U0 G3 | 21,800 | B3 U0 G3 | 16,100 | B2 U0 G3 | 21,800 | B3 U0 G3 |
| 50L | N/A | N/A | 26,200 | B3 U0 G4 | 27,300 | B3 U0 G4 | 20,200 | B2 U0 G3 | 27,300 | B3 U0 G4 |
| 65L | 27,800 | B3 U0 G4 | 34,000 | B3 U0 G4 | 35,500 | B3 U0 G5 | 26,200 | B3 U0 G4 | 35,500 | B3 U0 G5 |
| 75L | N/A | N/A | 39,300 | B3 U0 G5 | 40,900 | B3 U0 G5 | 30,300 | B3 U0 G4 | 40,900 | B3 U0 G5 |
| 85L | N/A | N/A | 44,500 | B3 U0 G5 | 46,400 | B3 U0 G5 | 34,300 | B3 U0 G4 | 46,400 | B3 U0 G5 |

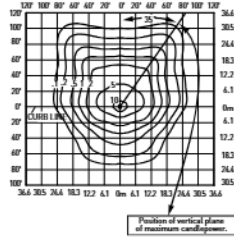
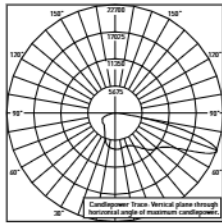
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:

<https://creelighting.com/products/outdoor/area/osq-series>

4M



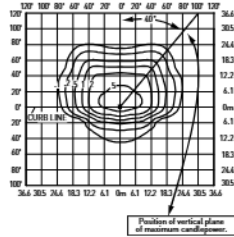
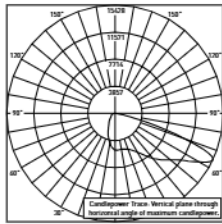
RESTL Test Report #: PL18130-001A
Configured
OSQL-C-xxL-40K7-4M-UL-xx-xx-xx
Initial Delivered Lumens: 38,000

OSQL-C-40L-40K7-4M-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 38,000
Initial FC at grade

| Type IV Mid Distribution | | | | | | | | | | |
|--------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 3,650 | B1 U0 G1 | 3,800 | B1 U0 G1 | 2,810 | B1 U0 G1 | 3,800 | B1 U0 G1 |
| 6L | N/A | N/A | 5,475 | B1 U0 G1 | 5,700 | B1 U0 G1 | 4,220 | B1 U0 G1 | 5,700 | B1 U0 G1 |
| 9L | N/A | N/A | 8,225 | B2 U0 G2 | 8,550 | B2 U0 G2 | 6,325 | B1 U0 G1 | 8,550 | B2 U0 G2 |
| 11L | N/A | N/A | 10,025 | B2 U0 G2 | 10,450 | B2 U0 G2 | 7,750 | B2 U0 G2 | 10,450 | B2 U0 G2 |
| 16L | 12,000 | B2 U0 G2 | 14,450 | B3 U0 G2 | 15,200 | B3 U0 G2 | 11,275 | B2 U0 G2 | 15,200 | B3 U0 G2 |
| 22L | N/A | N/A | 20,100 | B3 U0 G3 | 20,900 | B3 U0 G3 | 15,500 | B3 U0 G2 | 20,900 | B3 U0 G3 |
| 30L | 22,500 | B3 U0 G3 | 27,400 | B3 U0 G4 | 28,500 | B3 U0 G4 | 21,100 | B3 U0 G3 | 28,500 | B3 U0 G4 |
| 40L | N/A | N/A | 36,500 | B4 U0 G4 | 38,000 | B4 U0 G4 | 28,100 | B3 U0 G4 | 38,000 | B4 U0 G4 |
| 50L | N/A | N/A | 45,600 | B4 U0 G5 | 47,500 | B4 U0 G5 | 35,200 | B4 U0 G4 | 47,500 | B4 U0 G5 |
| 65L | 48,500 | B4 U0 G5 | 59,300 | B5 U0 G5 | 61,800 | B5 U0 G5 | 45,700 | B4 U0 G5 | 61,800 | B5 U0 G5 |
| 75L | N/A | N/A | 68,400 | B5 U0 G5 | 71,300 | B5 U0 G5 | 52,800 | B4 U0 G5 | 71,300 | B5 U0 G5 |
| 85L | N/A | N/A | 77,600 | B5 U0 G5 | 80,800 | B5 U0 G5 | 59,800 | B5 U0 G5 | 80,800 | B5 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

4B



RESTL Test Report #: PL18145-001A
Configured
OSQL-C-xxL-40K7-4B-UL-xx-xx-xx
Initial Delivered Lumens: 24,000

OSQL-C-40L-40K7-4B-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 24,000
Initial FC at grade

| Type IV Mid w/BLS Distribution (factory-installed) | | | | | | | | | | |
|--|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 2,300 | B1 U0 G0 | 2,400 | B1 U0 G0 | 1,770 | B0 U0 G0 | 2,400 | B1 U0 G0 |
| 6L | N/A | N/A | 3,440 | B1 U0 G1 | 3,590 | B1 U0 G1 | 2,660 | B1 U0 G0 | 3,590 | B1 U0 G1 |
| 9L | N/A | N/A | 5,175 | B1 U0 G1 | 5,400 | B1 U0 G1 | 3,980 | B1 U0 G1 | 5,400 | B1 U0 G1 |
| 11L | N/A | N/A | 6,325 | B1 U0 G1 | 6,600 | B1 U0 G1 | 4,880 | B1 U0 G1 | 6,600 | B1 U0 G1 |
| 16L | 7,550 | B1 U0 G1 | 9,225 | B2 U0 G2 | 9,575 | B2 U0 G2 | 7,100 | B1 U0 G1 | 9,575 | B2 U0 G2 |
| 22L | N/A | N/A | 12,625 | B2 U0 G2 | 13,175 | B2 U0 G2 | 9,750 | B2 U0 G2 | 13,175 | B2 U0 G2 |
| 30L | 14,175 | B2 U0 G2 | 17,200 | B3 U0 G2 | 18,000 | B3 U0 G2 | 13,300 | B2 U0 G2 | 18,000 | B3 U0 G2 |
| 40L | N/A | N/A | 23,000 | B3 U0 G3 | 24,000 | B3 U0 G3 | 17,700 | B3 U0 G2 | 24,000 | B3 U0 G3 |
| 50L | N/A | N/A | 28,700 | B3 U0 G3 | 29,900 | B3 U0 G3 | 22,200 | B3 U0 G3 | 29,900 | B3 U0 G3 |
| 65L | 30,600 | B3 U0 G3 | 37,400 | B3 U0 G4 | 38,900 | B3 U0 G4 | 28,800 | B3 U0 G3 | 38,900 | B3 U0 G4 |
| 75L | N/A | N/A | 43,100 | B4 U0 G4 | 44,900 | B4 U0 G4 | 33,200 | B3 U0 G4 | 44,900 | B4 U0 G4 |

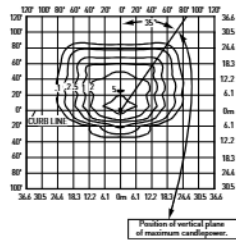
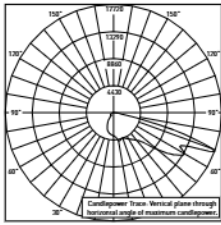
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult:

<https://creelighting.com/products/outdoor/area/osq-series>

4M W/OSQ--C-BLSF**



RESTL Test Report #: PL18146-001A Configured
OSQL-C-xxL-40K7-4M-UL-xx-xx-xx w/
OSQ-L-C-BLSF
Initial Delivered Lumens: 21,800

OSQL-C-40L-40K7-4M-UL w/OSQ-L-C-BLSF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 21,800
Initial FC at grade

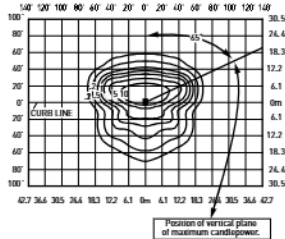
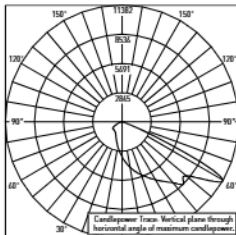
Type IV Mid Distribution w/OSQ--C-BLSF (field-installed)**

| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
|---------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 2,100 | B1 U0 G1 | 2,180 | B1 U0 G1 | 1,610 | B0 U0 G1 | 2,180 | B1 U0 G1 |
| 6L | N/A | N/A | 3,140 | B1 U0 G1 | 3,270 | B1 U0 G1 | 2,420 | B1 U0 G1 | 3,270 | B1 U0 G1 |
| 9L | N/A | N/A | 4,720 | B1 U0 G1 | 4,910 | B1 U0 G1 | 3,630 | B1 U0 G1 | 4,910 | B1 U0 G1 |
| 11L | N/A | N/A | 5,750 | B1 U0 G2 | 6,000 | B1 U0 G2 | 4,450 | B1 U0 G1 | 6,000 | B1 U0 G2 |
| 16L | 6,900 | B1 U0 G2 | 8,400 | B1 U0 G2 | 8,725 | B2 U0 G2 | 6,475 | B1 U0 G2 | 8,725 | B2 U0 G2 |
| 22L | N/A | N/A | 11,550 | B2 U0 G2 | 12,000 | B2 U0 G2 | 8,900 | B2 U0 G2 | 12,000 | B2 U0 G2 |
| 30L | 12,925 | B2 U0 G2 | 15,700 | B2 U0 G3 | 16,400 | B2 U0 G3 | 12,100 | B2 U0 G2 | 16,400 | B2 U0 G3 |
| 40L | N/A | N/A | 21,000 | B3 U0 G3 | 21,800 | B3 U0 G3 | 16,100 | B2 U0 G3 | 21,800 | B3 U0 G3 |
| 50L | N/A | N/A | 26,200 | B3 U0 G4 | 27,300 | B3 U0 G4 | 20,200 | B3 U0 G3 | 27,300 | B3 U0 G4 |
| 65L | 27,800 | B3 U0 G4 | 34,000 | B3 U0 G4 | 35,500 | B3 U0 G4 | 26,200 | B3 U0 G4 | 35,500 | B3 U0 G4 |
| 75L | N/A | N/A | 39,300 | B3 U0 G5 | 40,900 | B3 U0 G5 | 30,300 | B3 U0 G4 | 40,900 | B3 U0 G5 |
| 85L | N/A | N/A | 44,500 | B4 U0 G5 | 46,400 | B4 U0 G5 | 34,300 | B3 U0 G4 | 46,400 | B4 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

AF



RESTL Test Report #: PL18039-001A
OSQM-C-16L-50K9-AF-UL-xx-xx-xx
Initial Delivered Lumens: 12,361

OSQL-C-40L-40K7-AF-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 38,000
Initial FC at grade

Automotive FrontLineOptic™ Distribution

| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
|---------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 3,650 | B1 U0 G1 | 3,800 | B1 U0 G1 | 2,810 | B1 U0 G0 | 3,800 | B1 U0 G1 |
| 6L | N/A | N/A | 5,475 | B1 U0 G1 | 5,700 | B1 U0 G1 | 4,220 | B1 U0 G1 | 5,700 | B1 U0 G1 |
| 9L | N/A | N/A | 8,225 | B1 U0 G1 | 8,550 | B1 U0 G1 | 6,325 | B1 U0 G1 | 8,550 | B1 U0 G1 |
| 11L | N/A | N/A | 10,025 | B2 U0 G1 | 10,450 | B2 U0 G1 | 7,750 | B1 U0 G1 | 10,450 | B2 U0 G1 |
| 16L | 12,000 | B2 U0 G1 | 14,650 | B2 U0 G2 | 15,200 | B2 U0 G2 | 11,275 | B2 U0 G1 | 15,200 | B2 U0 G2 |
| 22L | N/A | N/A | 20,100 | B3 U0 G2 | 20,900 | B3 U0 G2 | 15,500 | B2 U0 G2 | 20,900 | B3 U0 G2 |
| 30L | 22,500 | B3 U0 G2 | 27,400 | B3 U0 G3 | 28,500 | B3 U0 G3 | 21,100 | B3 U0 G2 | 28,500 | B3 U0 G3 |
| 40L | N/A | N/A | 36,500 | B3 U0 G3 | 38,000 | B3 U0 G3 | 28,100 | B3 U0 G3 | 38,000 | B3 U0 G3 |
| 50L | N/A | N/A | 45,600 | B4 U0 G3 | 47,500 | B4 U0 G3 | 35,200 | B3 U0 G3 | 47,500 | B4 U0 G3 |
| 65L | 48,500 | B4 U0 G3 | 59,300 | B4 U0 G3 | 61,800 | B4 U0 G3 | 45,700 | B4 U0 G3 | 61,800 | B4 U0 G3 |
| 75L | N/A | N/A | 68,400 | B4 U0 G4 | 71,300 | B4 U0 G4 | 52,800 | B4 U0 G3 | 71,300 | B4 U0 G4 |
| 85L | N/A | N/A | 77,600 | B4 U0 G4 | 80,800 | B5 U0 G4 | 59,800 | B4 U0 G3 | 80,800 | B5 U0 G4 |

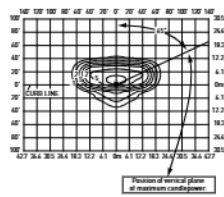
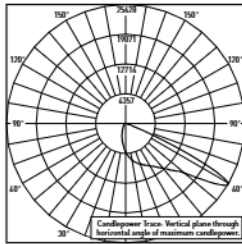
* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

AB



RESTL Test Report #: PL18107-001A
Configured
OSQL-C-30L-xxL-AB-UL-xx-xx-xx
Initial Delivered Lumens: 19,600

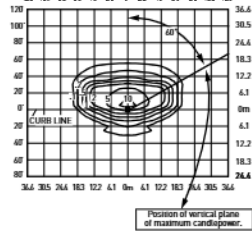
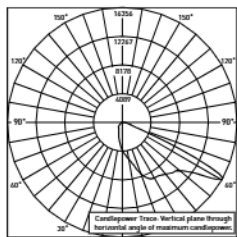
OSQL-C-30L-40K7-AB-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 19,600
Initial FC at grade

Automotive FrontLineOptic™ w/BLS Distribution (factory-installed)

| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
|---------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 2,510 | B0 U0 G0 | 2,620 | B0 U0 G0 | 1,940 | B0 U0 G0 | 2,620 | B0 U0 G0 |
| 6L | N/A | N/A | 3,760 | B1 U0 G0 | 3,920 | B1 U0 G0 | 2,900 | B1 U0 G0 | 3,920 | B1 U0 G0 |
| 9L | N/A | N/A | 5,650 | B1 U0 G0 | 5,875 | B1 U0 G0 | 4,350 | B1 U0 G0 | 5,875 | B1 U0 G0 |
| 11L | N/A | N/A | 6,900 | B1 U0 G1 | 7,200 | B1 U0 G1 | 5,325 | B1 U0 G0 | 7,200 | B1 U0 G1 |
| 16L | 8,250 | B1 U0 G1 | 10,075 | B1 U0 G1 | 10,450 | B1 U0 G1 | 7,750 | B1 U0 G1 | 10,450 | B1 U0 G1 |
| 22L | N/A | N/A | 13,800 | B2 U0 G1 | 14,375 | B2 U0 G1 | 10,650 | B1 U0 G1 | 14,375 | B2 U0 G1 |
| 30L | 15,500 | B2 U0 G1 | 18,800 | B2 U0 G2 | 19,600 | B2 U0 G2 | 14,525 | B2 U0 G1 | 19,600 | B2 U0 G2 |
| 40L | N/A | N/A | 25,100 | B3 U0 G2 | 26,200 | B3 U0 G2 | 19,400 | B3 U0 G2 | 26,200 | B3 U0 G2 |
| 50L | N/A | N/A | 31,400 | B3 U0 G2 | 32,700 | B3 U0 G2 | 24,200 | B3 U0 G2 | 32,700 | B3 U0 G2 |
| 65L | 33,400 | B3 U0 G2 | 40,800 | B3 U0 G2 | 42,500 | B3 U0 G2 | 31,500 | B3 U0 G2 | 42,500 | B3 U0 G2 |
| 75L | N/A | N/A | 47,100 | B3 U0 G3 | 49,000 | B3 U0 G3 | 36,300 | B3 U0 G2 | 49,000 | B3 U0 G3 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

AF W/OSQ*-C-BLSF



RESTL Test Report #: PL18108-001A
Configured
OSQL-C-xxL-40K7-AF-UL-xx-xx-xx w/OSQ-L-C-BLSF
Initial Delivered Lumens: 16,400

OSQL-C-30L-40K7-AF-UL w/OSQ-L-C-BLSF
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 16,400
Initial FC at grade

Automotive FrontLineOptic™ w/OSQ*-C-BLSF (field-installed)

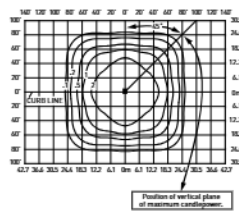
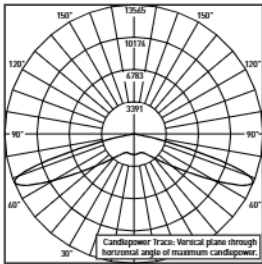
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
|---------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 2,100 | B0 U0 G1 | 2,180 | B0 U0 G1 | 1,610 | B0 U0 G1 | 2,180 | B0 U0 G1 |
| 6L | N/A | N/A | 3,140 | B1 U0 G1 | 3,270 | B1 U0 G1 | 2,420 | B0 U0 G1 | 3,270 | B1 U0 G1 |
| 9L | N/A | N/A | 4,720 | B1 U0 G1 | 4,910 | B1 U0 G1 | 3,630 | B1 U0 G1 | 4,910 | B1 U0 G1 |
| 11L | N/A | N/A | 5,750 | B1 U0 G1 | 6,000 | B1 U0 G1 | 4,450 | B1 U0 G1 | 6,000 | B1 U0 G1 |
| 16L | 6,900 | B1 U0 G1 | 8,400 | B1 U0 G1 | 8,725 | B1 U0 G1 | 6,475 | B1 U0 G1 | 8,725 | B1 U0 G1 |
| 22L | N/A | N/A | 11,550 | B1 U0 G1 | 12,000 | B1 U0 G1 | 8,900 | B1 U0 G1 | 12,000 | B1 U0 G1 |
| 30L | 12,925 | B2 U0 G1 | 15,700 | B2 U0 G2 | 16,400 | B2 U0 G2 | 12,100 | B1 U0 G1 | 16,400 | B2 U0 G2 |
| 40L | N/A | N/A | 21,000 | B2 U0 G2 | 21,800 | B2 U0 G2 | 16,100 | B2 U0 G2 | 21,800 | B2 U0 G2 |
| 50L | N/A | N/A | 26,200 | B3 U0 G2 | 27,300 | B3 U0 G2 | 20,200 | B2 U0 G2 | 27,300 | B3 U0 G2 |
| 65L | 27,800 | B3 U0 G2 | 34,000 | B3 U0 G2 | 35,500 | B3 U0 G3 | 26,200 | B3 U0 G2 | 35,500 | B3 U0 G3 |
| 75L | N/A | N/A | 39,300 | B3 U0 G3 | 40,900 | B3 U0 G3 | 30,300 | B3 U0 G2 | 40,900 | B3 U0 G3 |
| 85L | N/A | N/A | 44,500 | B3 U0 G3 | 46,400 | B3 U0 G3 | 34,300 | B3 U0 G2 | 46,400 | B3 U0 G3 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

5L



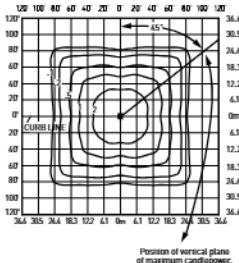
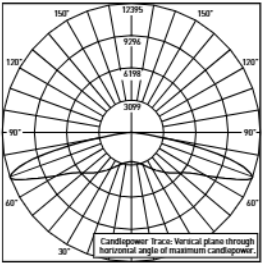
RESTL Test Report #: PL18074-001A Configured
OSQL-C-xxL-40K7-5L-UL-xx-xx-xx
Initial Delivered Lumens: 30,000

OSQL-C-30L-40K7-5L-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 30,000
Initial FC at grade

| Type V Long Distribution | | | | | | | | | | |
|--------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 3,840 | B2 U0 G1 | 4,000 | B3 U0 G1 | 2,960 | B2 U0 G1 | 4,000 | B3 U0 G1 |
| 6L | N/A | N/A | 5,750 | B3 U0 G1 | 6,000 | B3 U0 G1 | 4,440 | B3 U0 G1 | 6,000 | B3 U0 G1 |
| 9L | N/A | N/A | 8,650 | B3 U0 G2 | 9,000 | B3 U0 G2 | 6,650 | B3 U0 G1 | 9,000 | B3 U0 G2 |
| 11L | N/A | N/A | 10,550 | B4 U0 G2 | 11,000 | B4 U0 G2 | 8,150 | B3 U0 G2 | 11,000 | B4 U0 G2 |
| 16L | 12,625 | B4 U0 G2 | 15,400 | B4 U0 G2 | 16,000 | B4 U0 G2 | 11,850 | B4 U0 G2 | 16,000 | B4 U0 G2 |
| 22L | N/A | N/A | 21,100 | B5 U0 G3 | 22,000 | B5 U0 G3 | 16,300 | B4 U0 G2 | 22,000 | B5 U0 G3 |
| 30L | 23,700 | B5 U0 G3 | 28,800 | B5 U0 G3 | 30,000 | B5 U0 G4 | 22,200 | B5 U0 G3 | 30,000 | B5 U0 G4 |
| 40L | N/A | N/A | 38,400 | B5 U0 G4 | 40,000 | B5 U0 G4 | 29,600 | B5 U0 G3 | 40,000 | B5 U0 G4 |
| 50L | N/A | N/A | 48,000 | B5 U0 G5 | 50,000 | B5 U0 G5 | 37,000 | B5 U0 G3 | 50,000 | B5 U0 G5 |
| 65L | 51,000 | B5 U0 G5 | 62,400 | B5 U0 G5 | 65,000 | B5 U0 G5 | 48,100 | B5 U0 G5 | 65,000 | B5 U0 G5 |
| 75L | N/A | N/A | 72,000 | B5 U0 G5 | 75,000 | B5 U0 G5 | 55,500 | B5 U0 G5 | 75,000 | B5 U0 G5 |
| 85L | N/A | N/A | 81,600 | B5 U0 G5 | 85,000 | B5 U0 G5 | 62,900 | B5 U0 G5 | 85,000 | B5 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

5M



RESTL Test Report #: PL17909-001A Configured
OSQL-C-xxL-30K7-5M-UL-xx-xx-xx
Initial Delivered Lumens: 28,800

OSQL-C-30L-30K7-5M-UL
Mounting Height: 25' (7.6m) A.F.G.
Initial Delivered Lumens: 28,800
Initial FC at grade

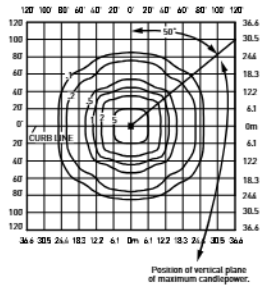
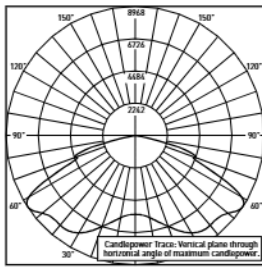
| Type V Mid Distribution | | | | | | | | | | |
|-------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 3,840 | B2 U0 G1 | 4,000 | B2 U0 G1 | 2,960 | B2 U0 G1 | 4,000 | B2 U0 G1 |
| 6L | N/A | N/A | 5,750 | B3 U0 G1 | 6,000 | B3 U0 G1 | 4,440 | B2 U0 G1 | 6,000 | B3 U0 G1 |
| 9L | N/A | N/A | 8,650 | B3 U0 G2 | 9,000 | B3 U0 G2 | 6,650 | B3 U0 G1 | 9,000 | B3 U0 G2 |
| 11L | N/A | N/A | 10,550 | B3 U0 G2 | 11,000 | B3 U0 G2 | 8,150 | B3 U0 G1 | 11,000 | B3 U0 G2 |
| 16L | 12,625 | B4 U0 G2 | 15,400 | B4 U0 G2 | 16,000 | B4 U0 G2 | 11,850 | B4 U0 G2 | 16,000 | B4 U0 G2 |
| 22L | N/A | N/A | 21,100 | B4 U0 G2 | 22,000 | B4 U0 G2 | 16,300 | B4 U0 G2 | 22,000 | B4 U0 G2 |
| 30L | 23,700 | B5 U0 G3 | 28,800 | B5 U0 G3 | 30,000 | B5 U0 G3 | 22,200 | B4 U0 G2 | 30,000 | B5 U0 G3 |
| 40L | N/A | N/A | 38,400 | B5 U0 G4 | 40,000 | B5 U0 G4 | 29,600 | B5 U0 G3 | 40,000 | B5 U0 G4 |
| 50L | N/A | N/A | 48,000 | B5 U0 G4 | 50,000 | B5 U0 G4 | 37,000 | B5 U0 G4 | 50,000 | B5 U0 G4 |
| 65L | 51,000 | B5 U0 G4 | 62,400 | B5 U0 G5 | 65,000 | B5 U0 G5 | 48,100 | B5 U0 G4 | 65,000 | B5 U0 G5 |
| 75L | N/A | N/A | 72,000 | B5 U0 G5 | 75,000 | B5 U0 G5 | 55,500 | B5 U0 G4 | 75,000 | B5 U0 G5 |
| 85L | N/A | N/A | 81,600 | B5 U0 G5 | 85,000 | B5 U0 G5 | 62,900 | B5 U0 G5 | 85,000 | B5 U0 G5 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

5N



RESTL Test Report #: PL17911-001A
 Configured
 OSQL-C-xxL-30K7-5N-UL-xx-xx-xx
 Initial Delivered Lumens: 28,800

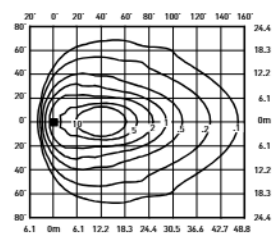
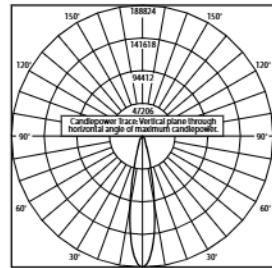
OSQL-C-30L-30K7-5N-UL
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 28,800
 Initial FC at grade

Type V Narrow Distribution

| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
|---------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 3,840 | B2 U0 G0 | 4,000 | B2 U0 G0 | 2,960 | B1 U0 G0 | 4,000 | B2 U0 G0 |
| 6L | N/A | N/A | 5,750 | B2 U0 G1 | 6,000 | B2 U0 G1 | 4,440 | B2 U0 G0 | 6,000 | B2 U0 G1 |
| 9L | N/A | N/A | 8,650 | B3 U0 G1 | 9,000 | B3 U0 G1 | 6,650 | B2 U0 G1 | 9,000 | B3 U0 G1 |
| 11L | N/A | N/A | 10,550 | B3 U0 G1 | 11,000 | B3 U0 G1 | 8,150 | B2 U0 G1 | 11,000 | B3 U0 G1 |
| 16L | 12,625 | B3 U0 G1 | 15,400 | B3 U0 G2 | 16,000 | B3 U0 G2 | 11,850 | B3 U0 G1 | 16,000 | B3 U0 G2 |
| 22L | N/A | N/A | 21,100 | B4 U0 G2 | 22,000 | B4 U0 G2 | 16,300 | B3 U0 G2 | 22,000 | B4 U0 G2 |
| 30L | 23,700 | B4 U0 G2 | 28,800 | B4 U0 G2 | 30,000 | B4 U0 G2 | 22,200 | B4 U0 G2 | 30,000 | B4 U0 G2 |
| 40L | N/A | N/A | 38,400 | B5 U0 G2 | 40,000 | B5 U0 G2 | 29,600 | B4 U0 G2 | 40,000 | B5 U0 G2 |
| 50L | N/A | N/A | 48,000 | B5 U0 G3 | 50,000 | B5 U0 G3 | 37,000 | B5 U0 G2 | 50,000 | B5 U0 G3 |
| 65L | 51,000 | B5 U0 G3 | 62,400 | B5 U0 G4 | 65,000 | B5 U0 G4 | 48,100 | B5 U0 G3 | 65,000 | B5 U0 G4 |
| 75L | N/A | N/A | 72,000 | B5 U0 G4 | 75,000 | B5 U0 G4 | 55,500 | B5 U0 G3 | 75,000 | B5 U0 G4 |
| 85L | N/A | N/A | 81,600 | B5 U0 G4 | 85,000 | B5 U0 G4 | 62,900 | B5 U0 G4 | 85,000 | B5 U0 G4 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens
 ** For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit: <https://www.ies.org/wp-content/uploads/2017/03/TM-15-11BUGRatingsAddendum.pdf>. Valid with no tilt

33



RESTL Test Report #: PL17450-001A
 OSQL-C-40L-30K7-33-UL-xx-xx-xx
 Initial Delivered Lumens: 36,102

OSQL-C-40L-40K7-33-UL
 Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
 Initial Delivered Lumens: 40,000
 Initial FC at grade

NEMA® 3x3 Distribution

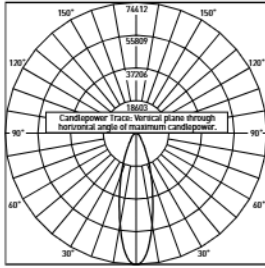
| Lumen Package | 1900K (50 CRI) | | 3000K (70 CRI) | | 4000K (70 CRI) | | 5000K (90 CRI) | | 5700K (70 CRI) | |
|---------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|---------------------------|----------------------------|
| | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 | Initial Delivered Lumens* | BUG Ratings** Per TM-15-20 |
| 4L | N/A | N/A | 3,840 | B2 U0 G0 | 4,000 | B2 U0 G0 | 2,960 | B1 U0 G0 | 4,000 | B2 U0 G0 |
| 6L | N/A | N/A | 5,750 | B2 U0 G1 | 6,000 | B2 U0 G1 | 4,440 | B2 U0 G0 | 6,000 | B2 U0 G1 |
| 9L | N/A | N/A | 8,650 | B3 U0 G1 | 9,000 | B3 U0 G1 | 6,650 | B2 U0 G1 | 9,000 | B3 U0 G1 |
| 11L | N/A | N/A | 10,550 | B3 U0 G1 | 11,000 | B3 U0 G1 | 8,150 | B2 U0 G1 | 11,000 | B3 U0 G1 |
| 16L | 12,625 | B3 U0 G1 | 15,400 | B3 U0 G2 | 16,000 | B3 U0 G2 | 11,850 | B3 U0 G1 | 16,000 | B3 U0 G2 |
| 22L | N/A | N/A | 21,100 | B4 U0 G2 | 22,000 | B4 U0 G2 | 16,300 | B3 U0 G2 | 22,000 | B4 U0 G2 |
| 30L | 23,700 | B4 U0 G2 | 28,800 | B4 U0 G2 | 30,000 | B4 U0 G2 | 22,200 | B4 U0 G2 | 30,000 | B4 U0 G2 |
| 40L | N/A | N/A | 38,400 | B5 U0 G2 | 40,000 | B5 U0 G2 | 29,600 | B4 U0 G2 | 40,000 | B5 U0 G2 |
| 50L | N/A | N/A | 48,000 | B5 U0 G3 | 50,000 | B5 U0 G3 | 37,000 | B5 U0 G2 | 50,000 | B5 U0 G3 |
| 65L | 51,000 | B5 U0 G3 | 62,400 | B5 U0 G4 | 65,000 | B5 U0 G4 | 48,100 | B5 U0 G3 | 65,000 | B5 U0 G4 |
| 75L | N/A | N/A | 72,000 | B5 U0 G4 | 75,000 | B5 U0 G4 | 55,500 | B5 U0 G3 | 75,000 | B5 U0 G4 |
| 85L | N/A | N/A | 81,600 | B5 U0 G4 | 85,000 | B5 U0 G4 | 62,900 | B5 U0 G4 | 85,000 | B5 U0 G4 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

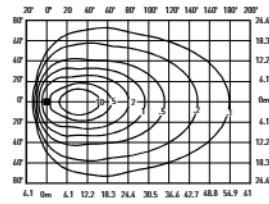
Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

44



RESTL Test Report #: PL17748-001A
OSQL-C-40L-30K7-44-UL-xx-xx-xx
Initial Delivered Lumens: 35,349

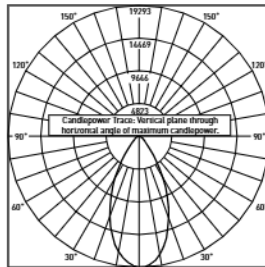


OSQL-C-40L-40K7-44-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 40,000
Initial FC at grade

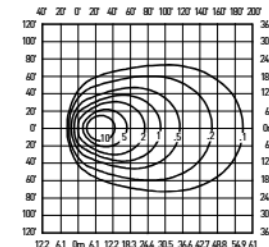
| NEMA® 4x4 Distribution | | | | | |
|------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|
| Lumen Package | 1900K (50 CRI) | 3000K (70 CRI) | 4000K (70 CRI) | 5000K (90 CRI) | 5700K (70 CRI) |
| | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* |
| 4L | N/A | 3,840 | 4,000 | 2,960 | 4,000 |
| 6L | N/A | 5,750 | 6,000 | 4,440 | 6,000 |
| 9L | N/A | 8,650 | 9,000 | 6,650 | 9,000 |
| 11L | N/A | 10,550 | 11,000 | 8,150 | 11,000 |
| 16L | 12,625 | 15,400 | 16,000 | 11,850 | 16,000 |
| 22L | N/A | 21,100 | 22,000 | 16,300 | 22,000 |
| 30L | 23,700 | 28,800 | 30,000 | 22,200 | 30,000 |
| 40L | N/A | 38,400 | 40,000 | 29,600 | 40,000 |
| 50L | N/A | 48,000 | 50,000 | 37,000 | 50,000 |
| 65L | 51,000 | 62,400 | 65,000 | 48,100 | 65,000 |
| 75L | N/A | 72,000 | 75,000 | 55,500 | 75,000 |
| 85L | N/A | 81,600 | 85,000 | 62,900 | 85,000 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

55



RESTL Test Report #: PL17771-001A
OSQL-C-40L-30K7-55-UL-xx-xx-xx
Initial Delivered Lumens: 37,424



OSQL-C-40L-40K7-55-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 40,000
Initial FC at grade

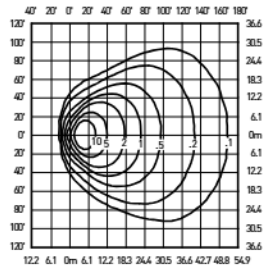
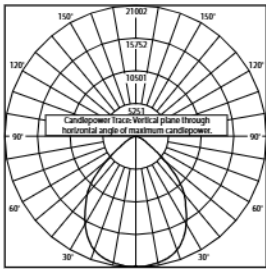
| NEMA® 5x5 Distribution | | | | | |
|------------------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|
| Lumen Package | 1900K (50 CRI) | 3000K (70 CRI) | 4000K (70 CRI) | 5000K (90 CRI) | 5700K (70 CRI) |
| | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* |
| 4L | N/A | 3,840 | 4,000 | 2,960 | 4,000 |
| 6L | N/A | 5,750 | 6,000 | 4,440 | 6,000 |
| 9L | N/A | 8,650 | 9,000 | 6,650 | 9,000 |
| 11L | N/A | 10,550 | 11,000 | 8,150 | 11,000 |
| 16L | 12,625 | 15,400 | 16,000 | 11,850 | 16,000 |
| 22L | N/A | 21,100 | 22,000 | 16,300 | 22,000 |
| 30L | 23,700 | 28,800 | 30,000 | 22,200 | 30,000 |
| 40L | N/A | 38,400 | 40,000 | 29,600 | 40,000 |
| 50L | N/A | 48,000 | 50,000 | 37,000 | 50,000 |
| 65L | 51,000 | 62,400 | 65,000 | 48,100 | 65,000 |
| 75L | N/A | 72,000 | 75,000 | 55,500 | 75,000 |
| 85L | N/A | 81,600 | 85,000 | 62,900 | 85,000 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

Photometry

All published luminaire photometric testing performed to IES LM-79 standards. To obtain an IES file specific to your project consult: <https://creelighting.com/products/outdoor/area/osq-series>

66



RESTL Test Report #: PL17439-001A
OSQL-C-40L-30K7-66-UL-xx-xx-xx
Initial Delivered Lumens: 37,525

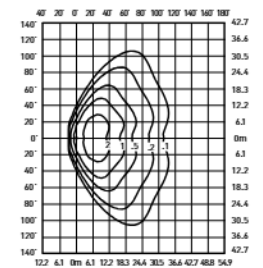
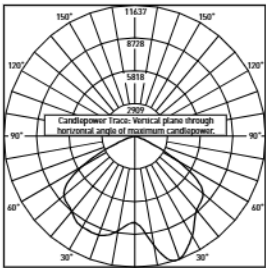
OSQL-C-40L-40K7-66-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 40,000
Initial FC at grade

NEMA® 6x6 Distribution

| Lumen Package | 1900K (50 CRI) | 3000K (70 CRI) | 4000K (70 CRI) | 5000K (90 CRI) | 5700K (70 CRI) |
|---------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|
| | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* |
| 4L | N/A | 3,840 | 4,000 | 2,960 | 4,000 |
| 6L | N/A | 5,750 | 6,000 | 4,440 | 6,000 |
| 9L | N/A | 8,650 | 9,000 | 6,650 | 9,000 |
| 11L | N/A | 10,550 | 11,000 | 8,150 | 11,000 |
| 16L | 12,625 | 15,400 | 16,000 | 11,850 | 16,000 |
| 22L | N/A | 21,100 | 22,000 | 16,300 | 22,000 |
| 30L | 23,700 | 28,800 | 30,000 | 22,200 | 30,000 |
| 40L | N/A | 38,400 | 40,000 | 29,600 | 40,000 |
| 50L | N/A | 48,000 | 50,000 | 37,000 | 50,000 |
| 65L | 51,000 | 62,400 | 65,000 | 48,100 | 65,000 |
| 75L | N/A | 72,000 | 75,000 | 55,500 | 75,000 |
| 85L | N/A | 81,600 | 85,000 | 62,900 | 85,000 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

75



RESTL Test Report #: PL17921-001A
OSQM-C-16L-40K7-75-UL-xx-xx-xx
Initial Delivered Lumens: 16,933

OSQL-C-16L-40K7-75-UL
Mounting Height: 25' (7.6m) A.F.G., 60° Tilt
Initial Delivered Lumens: 16,000
Initial FC at grade

NEMA® 7x5 Distribution

| Lumen Package | 1900K (50 CRI) | 3000K (70 CRI) | 4000K (70 CRI) | 5000K (90 CRI) | 5700K (70 CRI) |
|---------------|---------------------------|---------------------------|---------------------------|---------------------------|---------------------------|
| | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* | Initial Delivered Lumens* |
| 4L | N/A | 3,840 | 4,000 | 2,960 | 4,000 |
| 6L | N/A | 5,750 | 6,000 | 4,440 | 6,000 |
| 9L | N/A | 8,650 | 9,000 | 6,650 | 9,000 |
| 11L | N/A | 10,550 | 11,000 | 8,150 | 11,000 |
| 16L | 12,625 | 15,400 | 16,000 | 11,850 | 16,000 |
| 22L | N/A | 21,100 | 22,000 | 16,300 | 22,000 |
| 30L | 23,700 | 28,800 | 30,000 | 22,200 | 30,000 |
| 40L | N/A | 38,400 | 40,000 | 29,600 | 40,000 |
| 50L | N/A | 48,000 | 50,000 | 37,000 | 50,000 |
| 65L | 51,000 | 62,400 | 65,000 | 48,100 | 65,000 |
| 75L | N/A | 72,000 | 75,000 | 55,500 | 75,000 |
| 85L | N/A | 81,600 | 85,000 | 62,900 | 85,000 |

* Initial delivered lumens at 25°C (77°F). Actual production yield may vary between -10 and +10% of initial delivered lumens

Luminaire EPA

| Adjustable Arm Mount – OSQ-ML-C-AA Weight: Medium - 19.3 lbs. [8.8kg]; Large - 28.4 lbs. [12.9kg]; OSQ-X-C-AA Weight: Extra Large - 48.6 lbs. [22kg] | | | | | | | | |
|--|--|--|--|--|--------------------------------|--------------------|-------------------------|--|
| | Single | 2 @ 180° | 2 @ 90° | 3 @ 90° | 3 @ 120° | 3 @ 180° | 4 @ 180° | 4 @ 90° |
| Luminaire | Tenon Configuration (0° - 90° Tilt); If used with Cree Lighting tenons, please add tenon EPA with Luminaire EPA | | | | | | | |
| | | | | | | | | |
| | PB-1A*; PT-1*; PW-1A3** | PB-2A*; PB-2R2.375; PD-2A4(180)*; PT-2(180)*; PW-2A3** | PB-2A*; PB-2R2.375; PD-2A4(90)*; PT-2(90)*; PW-2A3** | PB-3A*; PB-3R2.375; PD-3A4(90)*; PT-3(90)* | PB-3A*; PB-3R2.375; PT-3(120)* | PB-3A*; PB-3R2.375 | PB-4A*(180); PB-4R2.375 | PB-4A*(90); PB-4R2.375; PD-4A4(90)*; PT-4(90)* |
| | 0° Tilt | | | | | | | |
| OSQM | 0.69 | 1.38 | 1.11 | 1.80 | 2.01 | 1.38 | 1.73 | 2.22 |
| OSQL | 0.78 | 1.55 | 1.30 | 2.07 | 2.33 | 1.55 | 1.94 | 2.60 |
| OSQX | 0.98 | 1.95 | 1.65 | 2.63 | 2.97 | 1.95 | 2.44 | 3.31 |
| | 45° Tilt | | | | | | | |
| OSQM | 1.41 | 2.81 | 2.10 | 3.50 | 4.23 | 4.22 | 5.63 | 4.19 |
| OSQL | 2.62 | 5.23 | 3.39 | 6.01 | 6.91 | 7.85 | 10.46 | 6.79 |
| OSQX | 4.35 | 8.70 | 5.33 | 9.68 | 9.65 | 13.05 | 17.40 | 10.66 |
| | 90° Tilt*** | | | | | | | |
| OSQM | 1.89 | 3.79 | 2.58 | 4.48 | 5.56 | 5.68 | 7.57 | 5.17 |
| OSQL | 3.52 | 7.03 | 4.29 | 7.81 | 9.14 | 10.55 | 14.07 | 8.59 |
| OSQX | 5.84 | 11.68 | 6.82 | 12.66 | 12.78 | 17.52 | 23.36 | 13.63 |

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")
 *** PD-2A4(90), PT-2(90), PD-3A4(90), PT-3(90), PD-4A4(90), PT-4(90) are not compatible with 90 degree tilt
 + PT & PD aluminum tenons are not suitable for use with OSQX luminaires.

Tenon EPA







| Part Number | EPA |
|------------------|------|
| PB-1A* | None |
| PB-2A* | 0.82 |
| PB-3A* | 1.52 |
| PB-4A*(180) | 2.22 |
| PB-4A*(90) | 1.11 |
| PB-2R2.375 | 0.92 |
| PB-3R2.375 | 1.62 |
| PB-4R2.375 | 2.32 |
| PD Series Tenons | 0.09 |
| PT Series Tenons | 0.10 |
| PW-1A3** | 0.47 |
| PW-2A3** | 0.94 |
| WM-2 | 0.08 |
| WM-4 | 0.25 |
| WM-DM | None |
| XA-TMDA8 | 0.19 |







* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation
 ** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6")

| Tenons and Brackets [‡] (must specify color) | |
|---|---|
| <p>Square Internal Mount Vertical Tenons (Steel)
 - Mounts to 3-6" (76-152mm) square aluminum or steel poles</p> <p>PB-1A* – Single
 PB-2A* – 180° Twin
 PB-3A* – 180° Triple</p> <p>PB-4A*(90) – 90° Quad
 PB-4A*(180) – 180° Quad</p> | <p>Round External Mount Vertical Tenons (Steel)
 - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons</p> <p>PB-2R2.375 – Twin
 PB-3R2.375 – Triple
 PB-4R2.375 – Quad</p> |
| <p>Square Internal Mount Horizontal Tenons (Aluminum)
 - Mounts to 4" (102mm) square aluminum or steel poles
 - Not for use with OSQX luminaires</p> <p>PD-2A4(90) – 90° Twin
 PD-2A4(180) – 180° Twin</p> <p>PD-3A4(90) – 90° Triple
 PD-4A4(90) – 90° Quad</p> | <p>Round External Mount Horizontal Tenons (Aluminum)
 - Mounts to 2.375" (60mm) O.D. round aluminum or steel poles or tenons
 - Mounts to square pole with PB-1A* tenon
 - Not for use with OSQX luminaires</p> <p>PT-1 – Single (Vertical)
 PT-2(90) – 90° Twin
 PT-2(180) – 180° Twin</p> <p>PT-3(90) – 90° Triple
 PT-3(120) – 120° Triple
 PT-4(90) – 90° Quad</p> |
| <p>Wall Mount Brackets
 - Mounts to wall or roof</p> <p>WM-2 – Horizontal for OSQ-ML-C-AA or OSQ-X-C-AA mounts
 WM-4 – L-Shape for OSQ-ML-C-AA or OSQ-X-C-AA mounts
 WM-DM – Plate for OSQ-ML-C-DA mount</p> | <p>Mid-Pole Bracket
 - Mounts to square pole</p> <p>PW-1A3** – Single
 PW-2A3** – Double</p> |
| <p>Direct Arm Pole Adapter Bracket
 - Mounts to 3-6" (76-152mm) round or square aluminum or steel poles
 - May be used with OSQX luminaires in 1.5G applications only</p> <p>XA-TMDA8</p> | <p>Ground Mount Post
 - For ground-mounted flood luminaires</p> <p>PGM-1 – for OSQ-ML-C-AA or OSQ-X-C-AA mounts</p> |

[‡] Refer to the [Bracket and Tenons spec sheet](#) for more details
 * Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation
 ** Specify pole size: (3) for 3", (4) for 4", (5) for 5", or (6) for 6"

Luminaire EPA

| Direct Arm Mount – OSQ-ML-C-DA Weight: Medium - 19.7 lbs. (8.9kg); Large - 28.8 lbs. (13.1kg); OSQ-X-C-DA Weight: Extra Large - 45.8 lbs. (20.8kg) | | | | | | |
|---|---|---|---|---|---|---|
| Luminaire | Single | 2 @ 180° | 2 @ 90° | 3 @ 90° | 3 @ 120° | 4 @ 90° |
| |  |  |  |  |  |  |
| OSQM | 0.63 | 1.26 | 0.98 | 1.61 | 1.79 | 1.97 |
| OSQL | 0.72 | 1.45 | 1.24 | 1.97 | 2.23 | 2.49 |
| OSQX | 0.91 | 1.83 | 1.52 | 2.43 | 2.74 | 3.04 |

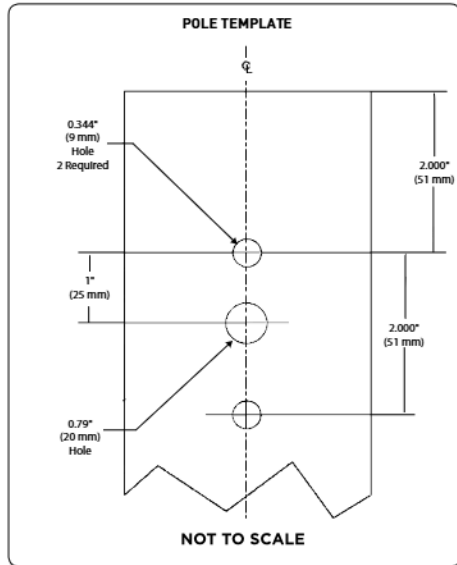
| Universal Direct Arm Mount w/Adjustable Bolt Spacing – OSQ-MLX-C-OU Weight: Medium - 20.6 lbs. (9.4kg); Large - 29.7 lbs. (13.5kg); Extra Large - 45.7 lbs. (20.8kg)
Universal Direct Arm Mount w/Four-Bolt Drill Pattern for THE EDGE® High Output Luminaire w/EHO-UNV Mount – OSQ-MLX-C-HU Weight: Medium - 20.3 lbs. (9.2kg); Large - 29.4 lbs. (13.3kg); Extra Large - 45.4 lbs. (20.6kg) | | | | | | |
|--|---|---|---|---|---|---|
| Luminaire | Single | 2 @ 180° | 2 @ 90° | 3 @ 90° | 3 @ 120° | 4 @ 90° |
| |  |  |  |  |  |  |
| OSQM-C | 0.73 | 1.45 | 1.19 | 1.91 | 1.98 | 2.38 |
| OSQL-C | 0.82 | 1.65 | 1.39 | 2.21 | 2.29 | 2.77 |
| OSQX-C | 0.95 | 1.89 | 1.60 | 2.55 | 2.61 | 3.21 |

Direct Mount/Universal Direct Mount Configurations (DA/OU/HU Mounts)

| Compatibility with Direct Mount Brackets | | | | | |
|---|---------|----------|---------|----------|---------|
| Size | 2 @ 90° | 2 @ 180° | 3 @ 90° | 3 @ 120° | 4 @ 90° |
| 3" Square | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | N/A | ✓ |
| Extra Large | N/A | ✓ | N/A | N/A | N/A |
| 3" Round | | | | | |
| Medium/Large | N/A | ✓ | N/A | ✓ | N/A |
| Extra Large | N/A | N/A | N/A | N/A | N/A |
| 4" Square | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | N/A | ✓ |
| Extra Large | ✓ | ✓ | ✓ | N/A | ✓ |
| 4" Round | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | ✓ | ✓ |
| Extra Large | ✓ | ✓ | ✓ | ✓ | ✓ |
| 5" Square | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | N/A | ✓ |
| Extra Large | ✓ | ✓ | ✓ | N/A | ✓ |
| 5" Round | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | ✓ | ✓ |
| Extra Large | ✓ | ✓ | ✓ | ✓ | ✓ |
| 6" + Square | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | N/A | ✓ |
| Extra Large | ✓ | ✓ | ✓ | N/A | ✓ |
| 6" + Round | | | | | |
| Medium/Large | ✓ | ✓ | ✓ | ✓ | ✓ |
| Extra Large | ✓ | ✓ | ✓ | ✓ | ✓ |

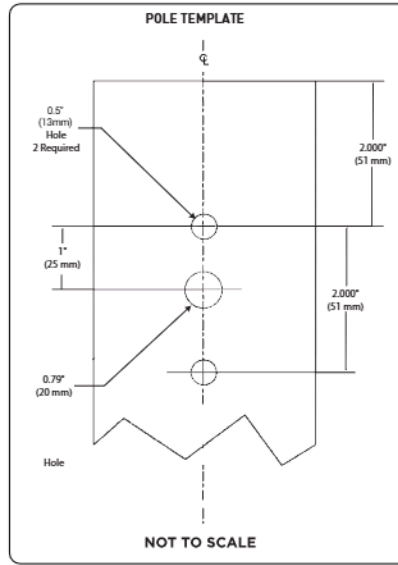
Fixture Mounting Drill Pattern for OSQ-ML-C-DA Mount

Note: When using with Cree Lighting poles, order the BLANK (LPI Poles) or C (SSS/SRS Poles) Fixture Mounting Drill Pattern.



Fixture Mounting Drill Pattern for OSQ-X-C-DA

Note: When using with Cree Lighting poles, order the Q Fixture Mounting Drill Pattern.

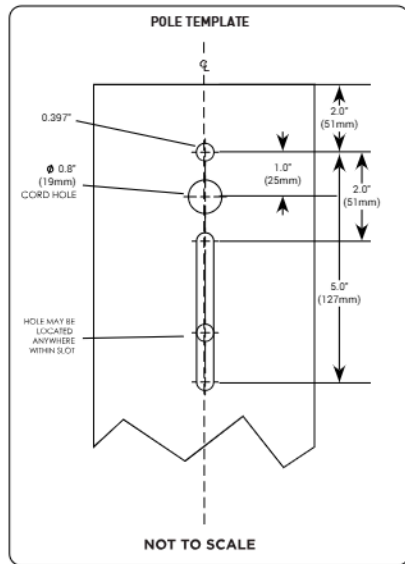


Luminaire EPA

| | |
|---|--------------|
| Trunnion Mount – OSQ-ML-C-TM Weight: | |
| Medium - 23.2 lbs. (10.5kg); | |
| Large - 32.3 lbs. (14.7kg) | |
| Single | |
| Medium | Large |
| 0° Tilt | |
| 0.69 | 0.78 |
| 45° Tilt | |
| 1.41 | 2.62 |
| 90° Tilt | |
| 1.89 | 3.52 |

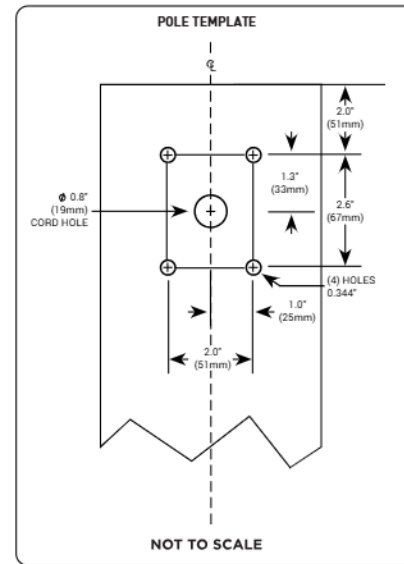
Fixture Mounting Drill Pattern for OSQ-MLX-C-OU Mount

Note: When using with Cree Lighting poles, order the Q Fixture Mounting Drill Pattern.



Fixture Mounting Drill Pattern for OSQ-MLX-C-HU Mount

Note: For use with poles with the existing 4-bolt drill pattern shown below.



Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 4L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts
120-277V | Lumen Values | | | | | Utility Label Wattage | Utility Label Lumens | | | |
|--------------------|--------------|--------------------------|----------------|--------------------------------|------------------------------------|----------------------------|-------------------------------|-----------------------|--|--------------------------------|------------------------------------|----------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/External BLS | | 2M, 3M, 4M, AF w/ and w/o External BLS | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) |
| Q9 (Full Power) | 30K (70 CRI) | 26 | 3,650 | 3,840 | 2,510 | 2,300 | 2,100 | 30 | 4000 L | 4000 L | 3000 L | 2000 L |
| | 40K (70 CRI) | | 3,800 | 4,000 | 2,620 | 2,400 | 2,180 | | 4000 L | 4000 L | 3000 L | 2000 L |
| | 50K (90 CRI) | | 2,810 | 2,960 | 1,940 | 1,770 | 1,610 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 3,800 | 4,000 | 2,620 | 2,400 | 2,180 | | 4000 L | 4000 L | 3000 L | 2000 L |
| Q8/X8 | 30K (70 CRI) | 24 | 3,480 | 3,660 | 2,390 | 2,190 | 2,000 | 20 | 3000 L | 4000 L | 2000 L | 2000 L |
| | 40K (70 CRI) | | 3,630 | 3,820 | 2,500 | 2,290 | 2,080 | | 4000 L | 4000 L | 3000 L | 2000 L |
| | 50K (90 CRI) | | 2,680 | 2,820 | 1,840 | 1,690 | 1,540 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 3,630 | 3,820 | 2,500 | 2,290 | 2,080 | | 4000 L | 4000 L | 3000 L | 2000 L |
| Q7/X7 | 30K (70 CRI) | 23 | 3,340 | 3,510 | 2,300 | 2,100 | 1,920 | 20 | 3000 L | 4000 L | 2000 L | 2000 L |
| | 40K (70 CRI) | | 3,480 | 3,660 | 2,390 | 2,190 | 2,000 | | 3000 L | 4000 L | 2000 L | 2000 L |
| | 50K (90 CRI) | | 2,580 | 2,710 | 1,770 | 1,620 | 1,480 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 3,480 | 3,660 | 2,390 | 2,190 | 2,000 | | 3000 L | 4000 L | 2000 L | 2000 L |
| Q6/X6 | 30K (70 CRI) | 22 | 3,220 | 3,390 | 2,220 | 2,030 | 1,850 | 20 | 3000 L | 3000 L | 2000 L | 2000 L |
| | 40K (70 CRI) | | 3,360 | 3,540 | 2,310 | 2,120 | 1,930 | | 3000 L | 4000 L | 2000 L | 2000 L |
| | 50K (90 CRI) | | 2,490 | 2,620 | 1,710 | 1,570 | 1,430 | | 2000 L | 3000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 3,360 | 3,540 | 2,310 | 2,120 | 1,930 | | 3000 L | 4000 L | 2000 L | 2000 L |
| Q5/X5 | 30K (70 CRI) | 20 | 2,950 | 3,100 | 2,030 | 1,860 | 1,690 | 20 | 3000 L | 3000 L | 2000 L | 2000 L |
| | 40K (70 CRI) | | 3,070 | 3,230 | 2,110 | 1,930 | 1,760 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 50K (90 CRI) | | 2,270 | 2,390 | 1,560 | 1,430 | 1,300 | | 2000 L | 2000 L | 2000 L | 1000 L |
| | 57K (70 CRI) | | 3,070 | 3,230 | 2,110 | 1,930 | 1,760 | | 3000 L | 3000 L | 2000 L | 2000 L |
| Q4/X4 | 30K (70 CRI) | 18 | 2,680 | 2,820 | 1,840 | 1,690 | 1,540 | 20 | 3000 L | 3000 L | 2000 L | 2000 L |
| | 40K (70 CRI) | | 2,790 | 2,940 | 1,920 | 1,760 | 1,600 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 50K (90 CRI) | | 2,060 | 2,170 | 1,420 | 1,300 | 1,180 | | 2000 L | 2000 L | 1000 L | 1000 L |
| | 57K (70 CRI) | | 2,790 | 2,940 | 1,920 | 1,760 | 1,600 | | 3000 L | 3000 L | 2000 L | 2000 L |
| Q3/X3 | 30K (70 CRI) | 16 | 2,470 | 2,600 | 1,700 | 1,560 | 1,420 | 20 | 2000 L | 3000 L | 2000 L | 2000 L |
| | 40K (70 CRI) | | 2,580 | 2,710 | 1,770 | 1,620 | 1,480 | | 3000 L | 3000 L | 2000 L | 2000 L |
| | 50K (90 CRI) | | 1,910 | 2,010 | 1,310 | 1,200 | 1,100 | | 2000 L | 2000 L | 1000 L | 1000 L |
| | 57K (70 CRI) | | 2,580 | 2,710 | 1,770 | 1,620 | 1,480 | | 3000 L | 3000 L | 2000 L | 2000 L |
| Q2/X2 | 30K (70 CRI) | 15 | 2,220 | 2,340 | 1,530 | 1,400 | 1,270 | 20 | 2000 L | 2000 L | 2000 L | 1000 L |
| | 40K (70 CRI) | | 2,320 | 2,440 | 1,600 | 1,460 | 1,330 | | 2000 L | 2000 L | 2000 L | 1000 L |
| | 50K (90 CRI) | | 1,720 | 1,810 | 1,180 | 1,080 | 990 | | 2000 L | 2000 L | 1000 L | 1000 L |
| | 57K (70 CRI) | | 2,320 | 2,440 | 1,600 | 1,460 | 1,330 | | 2000 L | 2000 L | 2000 L | 1000 L |
| Q1/X1 | 30K (70 CRI) | 13 | 1,970 | 2,070 | 1,350 | 1,240 | 1,130 | 10 | 2000 L | 2000 L | 1000 L | 1000 L |
| | 40K (70 CRI) | | 2,050 | 2,160 | 1,410 | 1,290 | 1,180 | | 2000 L | 2000 L | 1000 L | 1000 L |
| | 50K (90 CRI) | | 1,520 | 1,600 | 1,050 | 960 | 870 | | 2000 L | 2000 L | 1000 L | 1000 L |
| | 57K (70 CRI) | | 2,050 | 2,160 | 1,410 | 1,290 | 1,180 | | 2000 L | 2000 L | 1000 L | 1000 L |

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 6L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts 120-480V | Lumen Values | | | | Utility Label Wattage | Utility Label Lumens | | | | |
|--------------------|--------------|-----------------------|----------------|--------------------------------|------------------------------------|----------------------------|-----------------------|--------------------------------|--|--------------------------------|------------------------------------|----------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | | 2M, 3M, 4M, AF w/ External BLS | 2M, 3M, 4M, AF w/ and w/o External BLS | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) |
| Q9 (Full Power) | 30K (70 CRI) | 37 | 5,475 | 5,750 | 3,760 | 3,440 | 3,140 | 40 | 5000 L | 6000 L | 4000 L | 3000 L |
| | 40K (70 CRI) | | 5,700 | 6,000 | 3,920 | 3,590 | 3,270 | 6000 L | 6000 L | 4000 L | 4000 L | |
| | 50K (90 CRI) | | 4,220 | 4,440 | 2,900 | 2,660 | 2,420 | 4000 L | 4000 L | 3000 L | 3000 L | |
| | 57K (70 CRI) | | 5,700 | 6,000 | 3,920 | 3,590 | 3,270 | 6000 L | 6000 L | 4000 L | 4000 L | |
| Q8/X8 | 30K (70 CRI) | 36 | 5,200 | 5,475 | 3,580 | 3,280 | 2,980 | 40 | 5000 L | 5000 L | 4000 L | 3000 L |
| | 40K (70 CRI) | | 5,450 | 5,725 | 3,740 | 3,430 | 3,130 | 5000 L | 6000 L | 4000 L | 3000 L | |
| | 50K (90 CRI) | | 4,030 | 4,240 | 2,770 | 2,540 | 2,310 | 4000 L | 4000 L | 3000 L | 3000 L | |
| | 57K (70 CRI) | | 5,450 | 5,725 | 3,740 | 3,430 | 3,130 | 5000 L | 6000 L | 4000 L | 3000 L | |
| Q7/X7 | 30K (70 CRI) | 34 | 4,990 | 5,250 | 3,430 | 3,140 | 2,860 | 30 | 5000 L | 5000 L | 3000 L | 3000 L |
| | 40K (70 CRI) | | 5,200 | 5,475 | 3,580 | 3,280 | 2,980 | 5000 L | 5000 L | 4000 L | 3000 L | |
| | 50K (90 CRI) | | 3,860 | 4,060 | 2,450 | 2,430 | 2,220 | 4000 L | 4000 L | 3000 L | 2000 L | |
| | 57K (70 CRI) | | 5,200 | 5,475 | 3,580 | 3,280 | 2,980 | 5000 L | 5000 L | 4000 L | 3000 L | |
| Q6/X6 | 30K (70 CRI) | 32 | 4,820 | 5,075 | 3,320 | 3,040 | 2,770 | 30 | 5000 L | 5000 L | 3000 L | 3000 L |
| | 40K (70 CRI) | | 5,050 | 5,300 | 3,470 | 3,170 | 2,900 | 5000 L | 5000 L | 3000 L | 3000 L | |
| | 50K (90 CRI) | | 3,730 | 3,920 | 2,560 | 2,350 | 2,140 | 4000 L | 4000 L | 3000 L | 2000 L | |
| | 57K (70 CRI) | | 5,050 | 5,300 | 3,470 | 3,170 | 2,900 | 5000 L | 5000 L | 3000 L | 3000 L | |
| Q5/X5 | 30K (70 CRI) | 29 | 4,420 | 4,650 | 3,040 | 2,780 | 2,540 | 30 | 4000 L | 5000 L | 3000 L | 3000 L |
| | 40K (70 CRI) | | 4,610 | 4,850 | 3,170 | 2,900 | 2,650 | 5000 L | 5000 L | 3000 L | 3000 L | |
| | 50K (90 CRI) | | 3,410 | 3,590 | 2,350 | 2,150 | 1,960 | 3000 L | 4000 L | 2000 L | 2000 L | |
| | 57K (70 CRI) | | 4,610 | 4,850 | 3,170 | 2,900 | 2,650 | 5000 L | 5000 L | 3000 L | 3000 L | |
| Q4/X4 | 30K (70 CRI) | 27 | 4,010 | 4,220 | 2,760 | 2,530 | 2,300 | 30 | 4000 L | 4000 L | 3000 L | 3000 L |
| | 40K (70 CRI) | | 4,180 | 4,400 | 2,880 | 2,640 | 2,400 | 4000 L | 4000 L | 3000 L | 3000 L | |
| | 50K (90 CRI) | | 3,100 | 3,260 | 2,130 | 1,950 | 1,780 | 3000 L | 3000 L | 2000 L | 2000 L | |
| | 57K (70 CRI) | | 4,180 | 4,400 | 2,880 | 2,640 | 2,400 | 4000 L | 4000 L | 3000 L | 3000 L | |
| Q3/X3 | 30K (70 CRI) | 24 | 3,710 | 3,900 | 2,550 | 2,340 | 2,130 | 20 | 4000 L | 4000 L | 3000 L | 2000 L |
| | 40K (70 CRI) | | 3,870 | 4,070 | 2,660 | 2,440 | 2,220 | 4000 L | 4000 L | 3000 L | 2000 L | |
| | 50K (90 CRI) | | 2,860 | 3,010 | 1,970 | 1,800 | 1,640 | 3000 L | 3000 L | 2000 L | 2000 L | |
| | 57K (70 CRI) | | 3,870 | 4,070 | 2,660 | 2,440 | 2,220 | 4000 L | 4000 L | 3000 L | 2000 L | |
| Q2/X2 | 30K (70 CRI) | 21 | 3,340 | 3,510 | 2,300 | 2,100 | 1,920 | 20 | 3000 L | 4000 L | 2000 L | 2000 L |
| | 40K (70 CRI) | | 3,480 | 3,660 | 2,390 | 2,190 | 2,000 | 3000 L | 4000 L | 2000 L | 2000 L | |
| | 50K (90 CRI) | | 2,580 | 2,710 | 1,770 | 1,620 | 1,480 | 3000 L | 3000 L | 2000 L | 2000 L | |
| | 57K (70 CRI) | | 3,480 | 3,660 | 2,390 | 2,190 | 2,000 | 3000 L | 4000 L | 2000 L | 2000 L | |
| Q1/X1 | 30K (70 CRI) | 19 | 2,950 | 3,100 | 2,030 | 1,860 | 1,690 | 20 | 3000 L | 3000 L | 2000 L | 2000 L |
| | 40K (70 CRI) | | 3,070 | 3,230 | 2,110 | 1,930 | 1,760 | 3000 L | 3000 L | 2000 L | 2000 L | |
| | 50K (90 CRI) | | 2,270 | 2,390 | 1,560 | 1,430 | 1,300 | 2000 L | 2000 L | 2000 L | 1000 L | |
| | 57K (70 CRI) | | 3,070 | 3,230 | 2,110 | 1,930 | 1,760 | 3000 L | 3000 L | 2000 L | 2000 L | |

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 9L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts 120-480V | Lumen Values | | | | Utility Label Wattage | Utility Label Lumens | | | | |
|--------------------|--------------|-----------------------|----------------|--------------------------------|------------------------------------|----------------------------|-----------------------|--------------------------------|--|--------------------------------|------------------------------------|----------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | | 2M, 3M, 4M, AF w/ External BLS | 2M, 3M, 4M, AF w/ and w/o External BLS | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) |
| Q9 (Full Power) | 30K (70 CRI) | 55 | 8,225 | 8,650 | 5,650 | 5,175 | 4,720 | 60 | 8000 L | 9000 L | 6000 L | 5000 L |
| | 40K (70 CRI) | | 8,550 | 9,000 | 5,875 | 5,400 | 4,910 | | 9000 L | 9000 L | 6000 L | 5000 L |
| | 50K (90 CRI) | | 6,325 | 6,650 | 4,350 | 3,980 | 3,630 | | 6000 L | 7000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 8,550 | 9,000 | 5,875 | 5,400 | 4,910 | | 9000 L | 9000 L | 6000 L | 5000 L |
| Q8/X8 | 30K (70 CRI) | 53 | 7,850 | 8,250 | 5,400 | 4,940 | 4,510 | 50 | 8000 L | 8000 L | 5000 L | 5000 L |
| | 40K (70 CRI) | | 8,150 | 8,575 | 5,600 | 5,125 | 4,680 | | 8000 L | 9000 L | 6000 L | 5000 L |
| | 50K (90 CRI) | | 6,025 | 6,350 | 4,150 | 3,800 | 3,460 | | 6000 L | 6000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 8,150 | 8,575 | 5,600 | 5,125 | 4,680 | | 8000 L | 9000 L | 6000 L | 5000 L |
| Q7/X7 | 30K (70 CRI) | 50 | 7,500 | 7,900 | 5,175 | 4,730 | 4,310 | 50 | 8000 L | 8000 L | 5000 L | 5000 L |
| | 40K (70 CRI) | | 7,825 | 8,225 | 5,375 | 4,930 | 4,490 | | 8000 L | 8000 L | 5000 L | 5000 L |
| | 50K (90 CRI) | | 5,775 | 6,075 | 3,970 | 3,640 | 3,310 | | 6000 L | 6000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 7,825 | 8,225 | 5,375 | 4,930 | 4,490 | | 8000 L | 8000 L | 5000 L | 5000 L |
| Q6/X6 | 30K (70 CRI) | 48 | 7,275 | 7,650 | 5,000 | 4,580 | 4,180 | 50 | 7000 L | 8000 L | 5000 L | 5000 L |
| | 40K (70 CRI) | | 7,550 | 7,950 | 5,200 | 4,760 | 4,330 | | 8000 L | 8000 L | 5000 L | 5000 L |
| | 50K (90 CRI) | | 5,575 | 5,875 | 3,840 | 3,520 | 3,200 | | 6000 L | 6000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 7,550 | 7,950 | 5,200 | 4,760 | 4,330 | | 8000 L | 8000 L | 5000 L | 5000 L |
| Q5/X5 | 30K (70 CRI) | 43 | 6,650 | 7,000 | 4,580 | 4,190 | 3,820 | 40 | 7000 L | 7000 L | 5000 L | 4000 L |
| | 40K (70 CRI) | | 6,925 | 7,275 | 4,760 | 4,360 | 3,980 | | 7000 L | 7000 L | 5000 L | 4000 L |
| | 50K (90 CRI) | | 5,100 | 5,375 | 3,510 | 3,220 | 2,930 | | 5000 L | 5000 L | 4000 L | 3000 L |
| | 57K (70 CRI) | | 6,925 | 7,275 | 4,760 | 4,360 | 3,980 | | 7000 L | 7000 L | 5000 L | 4000 L |
| Q4/X4 | 30K (70 CRI) | 40 | 6,025 | 6,350 | 4,150 | 3,800 | 3,460 | 40 | 6000 L | 6000 L | 4000 L | 4000 L |
| | 40K (70 CRI) | | 6,275 | 6,600 | 4,320 | 3,950 | 3,600 | | 6000 L | 7000 L | 4000 L | 4000 L |
| | 50K (90 CRI) | | 4,640 | 4,880 | 3,190 | 2,920 | 2,660 | | 5000 L | 5000 L | 3000 L | 3000 L |
| | 57K (70 CRI) | | 6,275 | 6,600 | 4,320 | 3,950 | 3,600 | | 6000 L | 7000 L | 4000 L | 4000 L |
| Q3/X3 | 30K (70 CRI) | 36 | 5,575 | 5,875 | 3,840 | 3,520 | 3,200 | 40 | 6000 L | 6000 L | 4000 L | 4000 L |
| | 40K (70 CRI) | | 5,800 | 6,100 | 3,990 | 3,650 | 3,330 | | 6000 L | 6000 L | 4000 L | 4000 L |
| | 50K (90 CRI) | | 4,290 | 4,510 | 2,950 | 2,700 | 2,460 | | 4000 L | 5000 L | 3000 L | 3000 L |
| | 57K (70 CRI) | | 5,800 | 6,100 | 3,990 | 3,650 | 3,330 | | 6000 L | 6000 L | 4000 L | 4000 L |
| Q2/X2* | 30K (70 CRI) | 32 | 5,025 | 5,275 | 3,450 | 3,160 | 2,880 | 30 | 5000 L | 5000 L | 3000 L | 3000 L |
| | 40K (70 CRI) | | 5,225 | 5,500 | 3,600 | 3,290 | 3,000 | | 5000 L | 6000 L | 4000 L | 3000 L |
| | 50K (90 CRI) | | 3,860 | 4,060 | 2,650 | 2,430 | 2,220 | | 4000 L | 4000 L | 3000 L | 2000 L |
| | 57K (70 CRI) | | 5,225 | 5,500 | 3,600 | 3,290 | 3,000 | | 5000 L | 6000 L | 4000 L | 3000 L |
| Q1/X1* | 30K (70 CRI) | 29 | 4,430 | 4,660 | 3,050 | 2,790 | 2,540 | 30 | 4000 L | 5000 L | 3000 L | 3000 L |
| | 40K (70 CRI) | | 4,610 | 4,850 | 3,170 | 2,900 | 2,650 | | 5000 L | 5000 L | 3000 L | 3000 L |
| | 50K (90 CRI) | | 3,400 | 3,580 | 2,340 | 2,140 | 1,950 | | 3000 L | 4000 L | 2000 L | 2000 L |
| | 57K (70 CRI) | | 4,610 | 4,850 | 3,170 | 2,900 | 2,650 | | 5000 L | 5000 L | 3000 L | 3000 L |

* X2 and X1 options not available with 9L lumen package with UL voltage.

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 11L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts 120-480V | Lumen Values | | | | | Utility Label Wattage | Utility Label Lumens | | | |
|--------------------|--------------|-----------------------|----------------|--------------------------------|------------------------------------|----------------------------|-------------------------------|-----------------------|--|--------------------------------|------------------------------------|----------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/External BLS | | 2M, 3M, 4M, AF w/ and w/o External BLS | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) |
| Q9 (Full Power) | 30K (70 CRI) | 68 | 10,025 | 10,550 | 6,900 | 6,325 | 5,750 | 70 | 10000 L | 11000 L | 7000 L | 6000 L |
| | 40K (70 CRI) | | 10,450 | 11,000 | 7,200 | 6,600 | 6,000 | | 10000 L | 11000 L | 7000 L | 7000 L |
| | 50K (90 CRI) | | 7,750 | 8,150 | 5,325 | 4,880 | 4,450 | | 8000 L | 8000 L | 5000 L | 5000 L |
| | 57K (70 CRI) | | 10,450 | 11,000 | 7,200 | 6,600 | 5,750 | | 10000 L | 11000 L | 7000 L | 7000 L |
| Q8/X8 | 30K (70 CRI) | 65 | 9,575 | 10,075 | 6,600 | 6,025 | 5,500 | 70 | 10000 L | 10000 L | 7000 L | 6000 L |
| | 40K (70 CRI) | | 9,975 | 10,500 | 6,875 | 6,300 | 5,725 | | 10000 L | 11000 L | 7000 L | 6000 L |
| | 50K (90 CRI) | | 7,400 | 7,775 | 5,075 | 4,660 | 4,250 | | 7000 L | 8000 L | 5000 L | 5000 L |
| | 57K (70 CRI) | | 9,975 | 10,500 | 6,875 | 6,300 | 5,725 | | 10000 L | 11000 L | 7000 L | 6000 L |
| Q7/X7 | 30K (70 CRI) | 62 | 9,175 | 9,650 | 6,300 | 5,775 | 5,275 | 60 | 9000 L | 10000 L | 6000 L | 6000 L |
| | 40K (70 CRI) | | 9,550 | 10,050 | 6,575 | 6,025 | 5,475 | | 10000 L | 10000 L | 7000 L | 6000 L |
| | 50K (90 CRI) | | 7,075 | 7,450 | 4,870 | 4,460 | 4,060 | | 7000 L | 7000 L | 5000 L | 4000 L |
| | 57K (70 CRI) | | 9,550 | 10,050 | 6,575 | 6,025 | 5,475 | | 10000 L | 10000 L | 7000 L | 6000 L |
| Q6/X6 | 30K (70 CRI) | 59 | 8,875 | 9,325 | 6,100 | 5,575 | 5,100 | 60 | 9000 L | 9000 L | 6000 L | 6000 L |
| | 40K (70 CRI) | | 9,250 | 9,725 | 6,350 | 5,825 | 5,300 | | 9000 L | 10000 L | 6000 L | 6000 L |
| | 50K (90 CRI) | | 6,850 | 7,200 | 4,710 | 4,310 | 3,930 | | 7000 L | 7000 L | 5000 L | 4000 L |
| | 57K (70 CRI) | | 9,250 | 9,725 | 6,350 | 5,825 | 5,300 | | 9000 L | 10000 L | 6000 L | 6000 L |
| Q5/X5 | 30K (70 CRI) | 53 | 8,100 | 8,525 | 5,575 | 5,100 | 4,650 | 50 | 8000 L | 9000 L | 6000 L | 5000 L |
| | 40K (70 CRI) | | 8,450 | 8,900 | 5,825 | 5,325 | 4,850 | | 8000 L | 9000 L | 6000 L | 5000 L |
| | 50K (90 CRI) | | 6,250 | 6,575 | 4,300 | 3,940 | 3,590 | | 6000 L | 7000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 8,450 | 8,900 | 5,825 | 5,325 | 4,850 | | 8000 L | 9000 L | 6000 L | 5000 L |
| Q4/X4 | 30K (70 CRI) | 49 | 7,375 | 7,750 | 5,075 | 4,640 | 4,230 | 50 | 7000 L | 8000 L | 5000 L | 5000 L |
| | 40K (70 CRI) | | 7,675 | 8,075 | 5,275 | 4,840 | 4,410 | | 8000 L | 8000 L | 5000 L | 5000 L |
| | 50K (90 CRI) | | 5,675 | 5,975 | 3,910 | 3,580 | 3,260 | | 6000 L | 6000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 7,675 | 8,075 | 5,275 | 4,840 | 4,410 | | 8000 L | 8000 L | 5000 L | 5000 L |
| Q3/X3 | 30K (70 CRI) | 44 | 6,800 | 7,150 | 4,680 | 4,280 | 3,900 | 40 | 7000 L | 7000 L | 5000 L | 4000 L |
| | 40K (70 CRI) | | 7,075 | 7,450 | 4,870 | 4,460 | 4,060 | | 7000 L | 7000 L | 5000 L | 4000 L |
| | 50K (90 CRI) | | 5,250 | 5,525 | 3,610 | 3,310 | 3,010 | | 5000 L | 6000 L | 4000 L | 3000 L |
| | 57K (70 CRI) | | 7,075 | 7,450 | 4,870 | 4,460 | 4,060 | | 7000 L | 7000 L | 5000 L | 4000 L |
| Q2/X2 | 30K (70 CRI) | 39 | 6,100 | 6,425 | 4,200 | 3,850 | 3,500 | 40 | 6000 L | 6000 L | 4000 L | 4000 L |
| | 40K (70 CRI) | | 6,375 | 6,700 | 4,380 | 4,010 | 3,660 | | 6000 L | 7000 L | 4000 L | 4000 L |
| | 50K (90 CRI) | | 4,720 | 4,970 | 3,250 | 2,980 | 2,710 | | 5000 L | 5000 L | 3000 L | 3000 L |
| | 57K (70 CRI) | | 6,375 | 6,700 | 4,380 | 4,010 | 3,660 | | 6000 L | 7000 L | 4000 L | 4000 L |
| Q1/X1 | 30K (70 CRI) | 35 | 5,400 | 5,675 | 3,710 | 3,400 | 3,100 | 40 | 5000 L | 6000 L | 4000 L | 3000 L |
| | 40K (70 CRI) | | 5,625 | 5,925 | 3,870 | 3,550 | 3,230 | | 6000 L | 6000 L | 4000 L | 4000 L |
| | 50K (90 CRI) | | 4,170 | 4,390 | 2,870 | 2,630 | 2,390 | | 4000 L | 4000 L | 3000 L | 3000 L |
| | 57K (70 CRI) | | 5,625 | 5,925 | 3,870 | 3,550 | 3,230 | | 6000 L | 6000 L | 4000 L | 4000 L |

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 16L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts 120-480V | Lumen Values | | | | | Utility Label Wattage | Utility Label Lumens | | | |
|--------------------|--------------|-----------------------|----------------|--------------------------------|------------------------------------|----------------------------|--------------------------------|-----------------------|--|--------------------------------|------------------------------------|----------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/ External BLS | | 2M, 3M, 4M, AF w/ and w/o External BLS | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) |
| Q9 (Full Power) | 19K (50 CRI) | 97 | 12,000 | 12,625 | 8,250 | 7,550 | 6,900 | 100 | 12000 L | 13000 L | 8000 L | 8000 L |
| | 30K (70 CRI) | | 14,650 | 15,400 | 10,075 | 9,225 | 8,400 | | 15000 L | 15000 L | 10000 L | 9000 L |
| | 40K (70 CRI) | | 15,200 | 16,000 | 10,450 | 9,575 | 8,725 | | 15000 L | 16000 L | 10000 L | 10000 L |
| | 50K (90 CRI) | | 11,275 | 11,850 | 7,750 | 7,100 | 6,475 | | 11000 L | 12000 L | 8000 L | 7000 L |
| | 57K (70 CRI) | | 15,200 | 16,000 | 10,450 | 9,575 | 8,725 | | 15000 L | 16000 L | 10000 L | 10000 L |
| Q8/X8 | 19K (50 CRI) | 93 | 11,450 | 12,050 | 7,875 | 7,225 | 6,575 | 90 | 11000 L | 12000 L | 8000 L | 7000 L |
| | 30K (70 CRI) | | 13,975 | 14,700 | 9,600 | 8,800 | 8,025 | | 14000 L | 15000 L | 10000 L | 9000 L |
| | 40K (70 CRI) | | 14,550 | 15,300 | 10,000 | 9,175 | 8,350 | | 15000 L | 15000 L | 10000 L | 9000 L |
| | 50K (90 CRI) | | 10,750 | 11,300 | 7,400 | 6,775 | 6,175 | | 11000 L | 11000 L | 7000 L | 7000 L |
| | 57K (70 CRI) | | 14,550 | 15,300 | 10,000 | 9,175 | 8,350 | | 15000 L | 15000 L | 10000 L | 9000 L |
| Q7/X7 | 19K (50 CRI) | 87 | 10,975 | 11,550 | 7,550 | 6,925 | 6,300 | 90 | 11000 L | 12000 L | 8000 L | 7000 L |
| | 30K (70 CRI) | | 13,375 | 14,075 | 9,200 | 8,425 | 7,675 | | 13000 L | 14000 L | 9000 L | 8000 L |
| | 40K (70 CRI) | | 13,900 | 14,625 | 9,575 | 8,750 | 7,975 | | 14000 L | 15000 L | 10000 L | 9000 L |
| | 50K (90 CRI) | | 10,300 | 10,825 | 7,075 | 6,475 | 5,900 | | 10000 L | 11000 L | 7000 L | 6000 L |
| | 57K (70 CRI) | | 13,900 | 14,625 | 9,575 | 8,750 | 7,975 | | 14000 L | 15000 L | 10000 L | 9000 L |
| Q6/X6 | 19K (50 CRI) | 84 | 10,600 | 11,150 | 7,300 | 6,675 | 6,075 | 80 | 11000 L | 11000 L | 7000 L | 7000 L |
| | 30K (70 CRI) | | 12,950 | 13,625 | 8,900 | 8,150 | 7,425 | | 13000 L | 14000 L | 9000 L | 8000 L |
| | 40K (70 CRI) | | 13,450 | 14,150 | 9,250 | 8,475 | 7,725 | | 13000 L | 14000 L | 9000 L | 8000 L |
| | 50K (90 CRI) | | 9,950 | 10,475 | 6,850 | 6,275 | 5,700 | | 10000 L | 10000 L | 7000 L | 6000 L |
| | 57K (70 CRI) | | 13,450 | 14,150 | 9,250 | 8,475 | 7,725 | | 13000 L | 14000 L | 9000 L | 8000 L |
| Q5/X5 | 19K (50 CRI) | 76 | 9,700 | 10,200 | 6,675 | 6,100 | 5,575 | 80 | 10000 L | 10000 L | 7000 L | 6000 L |
| | 30K (70 CRI) | | 11,825 | 12,450 | 8,150 | 7,450 | 6,800 | | 12000 L | 12000 L | 8000 L | 7000 L |
| | 40K (70 CRI) | | 12,275 | 12,925 | 8,450 | 7,750 | 7,050 | | 12000 L | 13000 L | 8000 L | 8000 L |
| | 50K (90 CRI) | | 9,100 | 9,575 | 6,250 | 5,725 | 5,225 | | 9000 L | 10000 L | 6000 L | 6000 L |
| | 57K (70 CRI) | | 12,275 | 12,925 | 8,450 | 7,750 | 7,050 | | 12000 L | 13000 L | 8000 L | 8000 L |
| Q4/X4 | 19K (50 CRI) | 70 | 8,800 | 9,250 | 6,050 | 5,550 | 5,050 | 70 | 9000 L | 9000 L | 6000 L | 6000 L |
| | 30K (70 CRI) | | 10,750 | 11,300 | 7,400 | 6,775 | 6,175 | | 11000 L | 11000 L | 7000 L | 7000 L |
| | 40K (70 CRI) | | 11,175 | 11,750 | 7,675 | 7,025 | 6,425 | | 11000 L | 12000 L | 8000 L | 7000 L |
| | 50K (90 CRI) | | 8,275 | 8,700 | 5,700 | 5,200 | 4,750 | | 8000 L | 9000 L | 6000 L | 5000 L |
| | 57K (70 CRI) | | 11,175 | 11,750 | 7,675 | 7,025 | 6,425 | | 11000 L | 12000 L | 8000 L | 7000 L |
| Q3/X3 | 19K (50 CRI) | 62 | 8,125 | 8,550 | 5,600 | 5,125 | 4,660 | 60 | 8000 L | 9000 L | 6000 L | 5000 L |
| | 30K (70 CRI) | | 9,925 | 10,450 | 6,825 | 6,250 | 5,700 | | 10000 L | 10000 L | 7000 L | 6000 L |
| | 40K (70 CRI) | | 10,325 | 10,850 | 7,100 | 6,500 | 5,925 | | 10000 L | 11000 L | 7000 L | 7000 L |
| | 50K (90 CRI) | | 7,625 | 8,025 | 5,250 | 4,810 | 4,380 | | 8000 L | 8000 L | 5000 L | 5000 L |
| | 57K (70 CRI) | | 10,325 | 10,850 | 7,100 | 6,500 | 5,925 | | 10000 L | 11000 L | 7000 L | 7000 L |
| Q2/X2 | 19K (50 CRI) | 55 | 7,325 | 7,700 | 5,050 | 4,620 | 4,200 | 60 | 7000 L | 8000 L | 5000 L | 5000 L |
| | 30K (70 CRI) | | 8,925 | 9,400 | 6,150 | 5,625 | 5,125 | | 9000 L | 9000 L | 6000 L | 6000 L |
| | 40K (70 CRI) | | 9,275 | 9,750 | 6,375 | 5,850 | 5,325 | | 9000 L | 10000 L | 6000 L | 6000 L |
| | 50K (90 CRI) | | 6,875 | 7,225 | 4,720 | 4,330 | 3,950 | | 7000 L | 7000 L | 5000 L | 4000 L |
| | 57K (70 CRI) | | 9,275 | 9,750 | 6,375 | 5,850 | 5,325 | | 9000 L | 10000 L | 6000 L | 6000 L |
| Q1* | 19K (50 CRI) | 50 | 6,475 | 6,800 | 4,450 | 4,080 | 3,720 | 50 | 6000 L | 7000 L | 4000 L | 4000 L |
| | 30K (70 CRI) | | 7,900 | 8,300 | 5,425 | 4,970 | 4,530 | | 8000 L | 8000 L | 5000 L | 5000 L |
| | 40K (70 CRI) | | 8,200 | 8,625 | 5,650 | 5,175 | 4,710 | | 8000 L | 9000 L | 6000 L | 5000 L |
| | 50K (90 CRI) | | 6,050 | 6,375 | 4,170 | 3,820 | 3,470 | | 6000 L | 6000 L | 4000 L | 4000 L |
| | 57K (70 CRI) | | 8,200 | 8,625 | 5,650 | 5,175 | 4,710 | | 8000 L | 9000 L | 6000 L | 5000 L |

* X1 option not available with 16L lumen package.

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (rounded to nearest 1000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 22L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts 120-480V | Lumen Values | | | | | Utility Label Wattage | Utility Label Lumens | | | |
|--------------------|--------------|-----------------------|----------------|--------------------------------|------------------------------------|----------------------------|-------------------------------|-----------------------|--|--------------------------------|------------------------------------|----------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/External BLS | | 2M, 3M, 4M, AF w/ and w/o External BLS | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) |
| Q9 (Full Power) | 30K (70 CRI) | 131 | 20,100 | 21,100 | 13,800 | 12,625 | 11,550 | 130 | 2000 L | 21000 L | 14000 L | 13000 L |
| | 40K (70 CRI) | | 20,900 | 22,000 | 14,375 | 13,175 | 12,000 | | 21000 L | 22000 L | 14000 L | 13000 L |
| | 50K (90 CRI) | | 15,500 | 16,300 | 10,650 | 9,750 | 8,900 | | 16000 L | 16000 L | 11000 L | 10000 L |
| | 57K (70 CRI) | | 20,900 | 22,000 | 14,375 | 13,175 | 12,000 | | 21000 L | 22000 L | 14000 L | 13000 L |
| Q8/X8 | 30K (70 CRI) | 126 | 19,100 | 20,100 | 13,150 | 12,050 | 10,975 | 130 | 19000 L | 20000 L | 13000 L | 12000 L |
| | 40K (70 CRI) | | 20,000 | 21,000 | 13,725 | 12,575 | 11,475 | | 20000 L | 21000 L | 14000 L | 13000 L |
| | 50K (90 CRI) | | 14,825 | 15,600 | 10,200 | 9,350 | 8,500 | | 15000 L | 16000 L | 10000 L | 9000 L |
| | 57K (70 CRI) | | 20,000 | 21,000 | 13,725 | 12,575 | 11,475 | | 20000 L | 21000 L | 14000 L | 13000 L |
| Q7/X7 | 30K (70 CRI) | 119 | 18,300 | 19,300 | 12,625 | 11,550 | 10,500 | 120 | 18000 L | 19000 L | 13000 L | 12000 L |
| | 40K (70 CRI) | | 19,100 | 20,100 | 13,150 | 12,050 | 10,975 | | 19000 L | 20000 L | 13000 L | 12000 L |
| | 50K (90 CRI) | | 14,175 | 14,900 | 9,750 | 8,925 | 8,125 | | 14000 L | 15000 L | 10000 L | 9000 L |
| | 57K (70 CRI) | | 19,100 | 20,100 | 13,150 | 12,050 | 10,975 | | 19000 L | 20000 L | 13000 L | 12000 L |
| Q6/X6 | 30K (70 CRI) | 114 | 17,800 | 18,700 | 12,225 | 11,200 | 10,225 | 110 | 18000 L | 19000 L | 12000 L | 11000 L |
| | 40K (70 CRI) | | 18,400 | 19,400 | 12,675 | 11,625 | 10,550 | | 18000 L | 19000 L | 13000 L | 12000 L |
| | 50K (90 CRI) | | 13,700 | 14,400 | 9,425 | 8,625 | 7,875 | | 14000 L | 14000 L | 9000 L | 9000 L |
| | 57K (70 CRI) | | 18,400 | 19,400 | 12,675 | 11,625 | 10,550 | | 18000 L | 19000 L | 13000 L | 12000 L |
| Q5/X5 | 30K (70 CRI) | 103 | 16,200 | 17,000 | 11,125 | 10,175 | 9,300 | 100 | 16000 L | 17000 L | 11000 L | 10000 L |
| | 40K (70 CRI) | | 16,900 | 17,800 | 11,650 | 10,650 | 9,700 | | 17000 L | 18000 L | 12000 L | 11000 L |
| | 50K (90 CRI) | | 12,525 | 13,175 | 8,625 | 7,900 | 7,200 | | 13000 L | 13000 L | 9000 L | 8000 L |
| | 57K (70 CRI) | | 16,900 | 17,800 | 11,650 | 10,650 | 9,700 | | 17000 L | 18000 L | 12000 L | 11000 L |
| Q4/X4 | 30K (70 CRI) | 95 | 14,725 | 15,500 | 10,125 | 9,275 | 8,450 | 100 | 15000 L | 16000 L | 10000 L | 9000 L |
| | 40K (70 CRI) | | 15,300 | 16,100 | 10,525 | 9,650 | 8,775 | | 15000 L | 16000 L | 11000 L | 10000 L |
| | 50K (90 CRI) | | 11,375 | 11,975 | 7,825 | 7,175 | 6,525 | | 11000 L | 12000 L | 8000 L | 7000 L |
| | 57K (70 CRI) | | 15,300 | 16,100 | 10,525 | 9,650 | 8,775 | | 15000 L | 16000 L | 11000 L | 10000 L |
| Q3/X3 | 30K (70 CRI) | 84 | 13,600 | 14,300 | 9,350 | 8,575 | 7,800 | 80 | 14000 L | 14000 L | 9000 L | 9000 L |
| | 40K (70 CRI) | | 14,175 | 14,925 | 9,750 | 8,950 | 8,125 | | 14000 L | 15000 L | 10000 L | 9000 L |
| | 50K (90 CRI) | | 10,500 | 11,050 | 7,225 | 6,625 | 6,025 | | 11000 L | 11000 L | 7000 L | 7000 L |
| | 57K (70 CRI) | | 14,175 | 14,925 | 9,750 | 8,950 | 8,125 | | 14000 L | 15000 L | 10000 L | 9000 L |
| Q2/X2 | 30K (70 CRI) | 75 | 12,250 | 12,875 | 8,425 | 7,700 | 7,025 | 80 | 12000 L | 13000 L | 8000 L | 8000 L |
| | 40K (70 CRI) | | 12,750 | 13,425 | 8,775 | 8,050 | 7,325 | | 13000 L | 13000 L | 9000 L | 8000 L |
| | 50K (90 CRI) | | 9,450 | 9,950 | 6,500 | 5,950 | 5,425 | | 9000 L | 10000 L | 7000 L | 6000 L |
| | 57K (70 CRI) | | 12,750 | 13,425 | 8,775 | 8,050 | 7,325 | | 13000 L | 13000 L | 9000 L | 8000 L |
| Q1/X1 | 30K (70 CRI) | 68 | 10,825 | 11,375 | 7,450 | 6,825 | 6,225 | 70 | 11000 L | 11000 L | 7000 L | 7000 L |
| | 40K (70 CRI) | | 11,275 | 11,850 | 7,750 | 7,100 | 6,475 | | 11000 L | 12000 L | 8000 L | 7000 L |
| | 50K (90 CRI) | | 8,350 | 8,775 | 5,750 | 5,250 | 4,790 | | 8000 L | 9000 L | 6000 L | 5000 L |
| | 57K (70 CRI) | | 11,275 | 11,850 | 7,750 | 7,100 | 6,475 | | 11000 L | 12000 L | 8000 L | 7000 L |

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (<= 24,000 lumens rounded to nearest 1000 lumens, > 24,001 lumens rounded to the nearest 2000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 30L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts 120-480V | Lumen Values | | | | | Utility Label Wattage | Utility Label Lumens | | | |
|--------------------|--------------|-----------------------|----------------|--------------------------------|------------------------------------|----------------------------|--------------------------------|-----------------------|--|--------------------------------|------------------------------------|----------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/ External BLS | | 2M, 3M, 4M, AF w/ and w/o External BLS | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) |
| Q9 (Full Power) | 19K (50 CRI) | 175 | 22,500 | 23,700 | 15,500 | 14,175 | 12,925 | 180 | 23000 L | 24000L | 16000L | 14000L |
| | 30K (70 CRI) | | 27,400 | 28,800 | 18,800 | 17,200 | 15,700 | | 28000 L | 28000 L | 19000 L | 17000 L |
| | 40K (70 CRI) | | 28,500 | 30,000 | 19,600 | 18,000 | 16,400 | | 28000 L | 30000 L | 20000 L | 18000 L |
| | 50K (90 CRI) | | 21,100 | 22,200 | 14,525 | 13,300 | 12,100 | | 21000 L | 22000 L | 15000 L | 13000 L |
| | 57K (70 CRI) | | 28,500 | 30,000 | 19,600 | 18,000 | 16,400 | | 28000 L | 30000 L | 20000 L | 18000 L |
| Q8/X8 | 19K (50 CRI) | 168 | 21,475 | 22,600 | 14,775 | 13,525 | 12,325 | 170 | 21000 L | 23000L | 15000L | 14000L |
| | 30K (70 CRI) | | 26,100 | 27,500 | 18,000 | 16,500 | 14,975 | | 26000 L | 28000 L | 18000 L | 17000 L |
| | 40K (70 CRI) | | 27,200 | 28,600 | 18,700 | 17,100 | 15,600 | | 28000 L | 28000 L | 19000 L | 17000 L |
| | 50K (90 CRI) | | 20,200 | 21,200 | 13,850 | 12,700 | 11,600 | | 20000 L | 21000 L | 14000 L | 13000 L |
| | 57K (70 CRI) | | 27,200 | 28,600 | 18,700 | 17,100 | 15,600 | | 28000 L | 28000 L | 19000 L | 17000 L |
| Q7/X7 | 19K (50 CRI) | 158 | 20,575 | 21,600 | 14,150 | 12,975 | 11,800 | 160 | 21000 L | 22000L | 14000L | 13000L |
| | 30K (70 CRI) | | 25,000 | 26,300 | 17,200 | 15,800 | 14,350 | | 26000 L | 26000 L | 17000 L | 16000 L |
| | 40K (70 CRI) | | 24,000 | 27,400 | 17,900 | 16,400 | 14,925 | | 26000 L | 28000 L | 18000 L | 16000 L |
| | 50K (90 CRI) | | 19,300 | 20,300 | 13,275 | 12,150 | 11,075 | | 19000 L | 20000 L | 13000 L | 12000 L |
| | 57K (70 CRI) | | 24,000 | 27,400 | 17,900 | 16,400 | 14,925 | | 26000 L | 28000 L | 18000 L | 16000 L |
| Q6/X6 | 19K (50 CRI) | 152 | 19,900 | 20,900 | 13,700 | 12,550 | 11,425 | 150 | 20000 L | 21000L | 14000L | 13000L |
| | 30K (70 CRI) | | 24,200 | 25,500 | 16,700 | 15,300 | 13,900 | | 24000 L | 26000 L | 17000 L | 15000 L |
| | 40K (70 CRI) | | 25,200 | 26,500 | 17,300 | 15,900 | 14,475 | | 26000 L | 26000 L | 17000 L | 16000 L |
| | 50K (90 CRI) | | 18,600 | 19,600 | 12,825 | 11,750 | 10,675 | | 19000 L | 20000 L | 13000 L | 12000 L |
| | 57K (70 CRI) | | 25,200 | 26,500 | 17,300 | 15,900 | 14,475 | | 26000 L | 26000 L | 17000 L | 16000 L |
| Q5/X5 | 19K (50 CRI) | 137 | 18,175 | 19,100 | 12,500 | 11,450 | 10,425 | 140 | 18000 L | 19000L | 13000L | 11000L |
| | 30K (70 CRI) | | 22,100 | 23,300 | 15,200 | 13,950 | 12,675 | | 22000 L | 23000 L | 15000 L | 14000 L |
| | 40K (70 CRI) | | 23,000 | 24,200 | 15,800 | 14,500 | 13,200 | | 23000 L | 24000 L | 16000 L | 15000 L |
| | 50K (90 CRI) | | 17,000 | 17,900 | 11,700 | 10,725 | 9,750 | | 17000 L | 18000 L | 12000 L | 11000 L |
| | 57K (70 CRI) | | 23,000 | 24,200 | 15,800 | 14,500 | 13,200 | | 23000 L | 24000 L | 16000 L | 15000 L |
| Q4/X4 | 19K (50 CRI) | 126 | 16,525 | 17,400 | 11,375 | 10,400 | 9,475 | 130 | 17000 L | 17000L | 11000L | 10000L |
| | 30K (70 CRI) | | 20,100 | 21,100 | 13,800 | 12,625 | 11,550 | | 20000 L | 21000 L | 14000 L | 13000 L |
| | 40K (70 CRI) | | 20,900 | 22,000 | 14,375 | 13,175 | 12,000 | | 21000 L | 22000 L | 14000 L | 13000 L |
| | 50K (90 CRI) | | 15,500 | 16,300 | 10,650 | 9,750 | 8,900 | | 16000 L | 16000 L | 11000 L | 10000 L |
| | 57K (70 CRI) | | 20,900 | 22,000 | 14,375 | 13,175 | 12,000 | | 21000 L | 22000 L | 14000 L | 13000 L |
| Q3/Q3 | 19K (50 CRI) | 113 | 15,250 | 16,000 | 10,500 | 9,600 | 8,750 | 110 | 15000 L | 16000L | 11000L | 10000L |
| | 30K (70 CRI) | | 18,500 | 19,500 | 12,750 | 11,675 | 10,625 | | 19000 L | 20000 L | 13000 L | 12000 L |
| | 40K (70 CRI) | | 19,300 | 20,300 | 13,275 | 12,150 | 11,075 | | 19000 L | 20000 L | 13000 L | 12000 L |
| | 50K (90 CRI) | | 14,350 | 15,100 | 9,875 | 9,050 | 8,225 | | 14000 L | 15000 L | 10000 L | 9000 L |
| | 57K (70 CRI) | | 19,300 | 20,300 | 13,275 | 12,150 | 11,075 | | 19000 L | 20000 L | 13000 L | 12000 L |
| Q2/X2 | 19K (50 CRI) | 100 | 13,725 | 14,450 | 9,450 | 8,650 | 7,875 | 100 | 14000 L | 14000L | 9000L | 9000L |
| | 30K (70 CRI) | | 16,700 | 17,600 | 11,500 | 10,550 | 9,575 | | 17000 L | 18000 L | 12000 L | 11000 L |
| | 40K (70 CRI) | | 17,400 | 18,300 | 11,975 | 10,950 | 10,000 | | 17000 L | 18000 L | 12000 L | 11000 L |
| | 50K (90 CRI) | | 12,875 | 13,550 | 8,850 | 8,125 | 7,400 | | 13000 L | 14000 L | 9000 L | 8000 L |
| | 57K (70 CRI) | | 17,400 | 18,300 | 11,975 | 10,950 | 10,000 | | 17000 L | 18000 L | 12000 L | 11000 L |
| Q1* | 19K (50 CRI) | 90 | 12,125 | 12,750 | 8,350 | 7,650 | 6,950 | 90 | 12000 L | 13000L | 8000L | 8000L |
| | 30K (70 CRI) | | 14,725 | 15,500 | 10,125 | 9,275 | 8,450 | | 15000 L | 16000 L | 10000 L | 9000 L |
| | 40K (70 CRI) | | 15,400 | 16,200 | 10,600 | 9,700 | 8,850 | | 15000 L | 16000 L | 11000 L | 10000 L |
| | 50K (90 CRI) | | 11,375 | 11,975 | 7,825 | 7,175 | 6,525 | | 11000 L | 12000 L | 8000 L | 7000 L |
| | 57K (70 CRI) | | 15,400 | 16,200 | 10,600 | 9,700 | 8,850 | | 15000 L | 16000 L | 11000 L | 10000 L |

* X1 option not available with 30L lumen package.

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings. When ordered with the N option, the luminaire will include an ANSI C136.15-2020 utility label that indicates the wattage (rounded to nearest 10W), the lumen output (<= 24,000 lumens rounded to nearest 1000 lumens, > 24,001 lumens rounded to the nearest 2000 lumens), and the CCT of the luminaire at the selected lumen output. Additional dimming functionality is available when a dimming control (by others) is used in the 7-Pin receptacle.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others). When ordered with the N option, the luminaire will include a utility label that indicates the wattage, lumen output, and CCT of the setting selected.

Q & X Option Power & Lumen Data – 40L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts 120-480V | Lumen Values | | | | | Utility Label Wattage | Utility Label Lumens | | | |
|--------------------|--------------|-----------------------|----------------|--------------------------------|------------------------------------|----------------------------|-------------------------------|-----------------------|--|--------------------------------|------------------------------------|----------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/External BLS | | 2M, 3M, 4M, AF w/ and w/o External BLS | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) |
| Q9 (Full Power) | 30K (70 CRI) | 236 | 36,500 | 38,400 | 25,100 | 23,000 | 21,000 | 240 | 36000 L | 38000 L | 26000 L | 23000 L |
| | 40K (70 CRI) | | 38,000 | 40,000 | 26,200 | 24,000 | 21,800 | | 38000 L | 40000 L | 26000 L | 24000 L |
| | 50K (90 CRI) | | 28,100 | 29,600 | 19,400 | 17,700 | 16,100 | | 28000 L | 30000 L | 19000 L | 18000 L |
| | 57K (70 CRI) | | 38,000 | 40,000 | 26,200 | 24,000 | 21,800 | | 38000 L | 40000 L | 26000 L | 24000 L |
| Q8/X8 | 30K (70 CRI) | 221 | 34,800 | 36,600 | 23,900 | 21,900 | 20,000 | 220 | 34000 L | 36000 L | 24000 L | 22000 L |
| | 40K (70 CRI) | | 36,300 | 38,200 | 25,000 | 22,900 | 20,800 | | 36000 L | 38000 L | 26000 L | 23000 L |
| | 50K (90 CRI) | | 26,800 | 28,200 | 18,400 | 16,900 | 15,400 | | 26000 L | 28000 L | 18000 L | 17000 L |
| | 57K (70 CRI) | | 36,300 | 38,200 | 25,000 | 22,900 | 20,800 | | 36000 L | 38000 L | 26000 L | 23000 L |
| Q7/X7 | 30K (70 CRI) | 212 | 33,400 | 35,100 | 23,000 | 21,000 | 19,200 | 210 | 34000 L | 36000 L | 23000 L | 21000 L |
| | 40K (70 CRI) | | 34,800 | 36,600 | 23,900 | 21,900 | 20,000 | | 34000 L | 36000 L | 24000 L | 22000 L |
| | 50K (90 CRI) | | 25,800 | 27,100 | 17,700 | 16,200 | 14,800 | | 26000 L | 28000 L | 18000 L | 16000 L |
| | 57K (70 CRI) | | 34,800 | 36,600 | 23,900 | 21,900 | 20,000 | | 34000 L | 36000 L | 24000 L | 22000 L |
| Q6/X6 | 30K (70 CRI) | 203 | 32,200 | 33,900 | 22,200 | 20,300 | 18,500 | 200 | 32000 L | 34000 L | 22000 L | 20000 L |
| | 40K (70 CRI) | | 33,600 | 35,400 | 23,100 | 21,200 | 19,300 | | 34000 L | 36000 L | 23000 L | 21000 L |
| | 50K (90 CRI) | | 24,900 | 26,200 | 17,100 | 15,700 | 14,300 | | 24000 L | 26000 L | 17000 L | 16000 L |
| | 57K (70 CRI) | | 33,600 | 35,400 | 23,100 | 21,200 | 19,300 | | 34000 L | 36000 L | 23000 L | 21000 L |
| Q5/X5 | 30K (70 CRI) | 184 | 29,500 | 31,000 | 20,300 | 18,600 | 16,900 | 180 | 30000 L | 32000 L | 20000 L | 19000 L |
| | 40K (70 CRI) | | 30,700 | 32,300 | 21,100 | 19,300 | 17,600 | | 30000 L | 32000 L | 21000 L | 19000 L |
| | 50K (90 CRI) | | 22,700 | 23,900 | 15,600 | 14,325 | 13,025 | | 23000 L | 24000 L | 16000 L | 14000 L |
| | 57K (70 CRI) | | 30,700 | 32,300 | 21,100 | 19,300 | 17,600 | | 30000 L | 32000 L | 21000 L | 19000 L |
| Q4/X4 | 30K (70 CRI) | 167 | 26,800 | 28,200 | 18,400 | 16,900 | 15,400 | 170 | 26000 L | 28000 L | 18000 L | 17000 L |
| | 40K (70 CRI) | | 27,900 | 29,400 | 19,200 | 17,600 | 16,000 | | 28000 L | 30000 L | 19000 L | 18000 L |
| | 50K (90 CRI) | | 20,600 | 21,700 | 14,200 | 13,000 | 11,825 | | 21000 L | 22000 L | 14000 L | 13000 L |
| | 57K (70 CRI) | | 27,900 | 29,400 | 19,200 | 17,600 | 16,000 | | 28000 L | 30000 L | 19000 L | 18000 L |
| Q3/X3 | 30K (70 CRI) | 151 | 24,700 | 26,000 | 17,000 | 15,600 | 14,175 | 150 | 24000 L | 26000 L | 17000 L | 16000 L |
| | 40K (70 CRI) | | 25,800 | 27,100 | 17,700 | 16,200 | 14,800 | | 26000 L | 28000 L | 18000 L | 16000 L |
| | 50K (90 CRI) | | 19,100 | 20,100 | 13,150 | 12,050 | 10,975 | | 19000 L | 20000 L | 13000 L | 12000 L |
| | 57K (70 CRI) | | 25,800 | 27,100 | 17,700 | 16,200 | 14,800 | | 26000 L | 28000 L | 18000 L | 16000 L |
| Q2/X2 | 30K (70 CRI) | 135 | 22,200 | 23,400 | 15,300 | 14,025 | 12,750 | 140 | 22000 L | 23000 L | 15000 L | 14000 L |
| | 40K (70 CRI) | | 23,200 | 24,400 | 16,000 | 14,625 | 13,325 | | 23000 L | 24000 L | 16000 L | 15000 L |
| | 50K (90 CRI) | | 17,200 | 18,100 | 11,825 | 10,850 | 9,875 | | 17000 L | 18000 L | 12000 L | 11000 L |
| | 57K (70 CRI) | | 23,200 | 24,400 | 16,000 | 14,625 | 13,325 | | 23000 L | 24000 L | 16000 L | 15000 L |
| Q1/X1 | 30K (70 CRI) | 116 | 19,700 | 20,700 | 13,525 | 12,400 | 11,300 | 120 | 20000 L | 21000 L | 14000 L | 12000 L |
| | 40K (70 CRI) | | 20,500 | 21,600 | 14,125 | 12,925 | 11,775 | | 21000 L | 22000 L | 14000 L | 13000 L |
| | 50K (90 CRI) | | 15,200 | 16,000 | 10,450 | 9,575 | 8,725 | | 15000 L | 16000 L | 10000 L | 10000 L |
| | 57K (70 CRI) | | 20,500 | 21,600 | 14,125 | 12,925 | 11,775 | | 21000 L | 22000 L | 14000 L | 13000 L |

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control [by others].

Q & X Option Power & Lumen Data – 50L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts 120-480V | Lumen Values | | | | |
|--------------------|--------------|-----------------------|----------------|--------------------------------|------------------------------------|----------------------------|-------------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/External BLS |
| Q9 (Full Power) | 30K (70 CRI) | 297 | 45,600 | 48,000 | 31,400 | 28,700 | 26,200 |
| | 40K (70 CRI) | | 47,500 | 50,000 | 32,700 | 29,900 | 27,300 |
| | 50K (90 CRI) | | 35,200 | 37,000 | 24,200 | 22,200 | 20,200 |
| | 57K (70 CRI) | | 47,500 | 50,000 | 32,700 | 29,900 | 27,300 |
| Q8/X8 | 30K (70 CRI) | 285 | 43,500 | 45,800 | 29,900 | 27,400 | 25,000 |
| | 40K (70 CRI) | | 45,300 | 47,700 | 31,200 | 28,600 | 26,000 |
| | 50K (90 CRI) | | 33,600 | 35,300 | 23,100 | 21,100 | 19,300 |
| | 57K (70 CRI) | | 45,300 | 47,700 | 31,200 | 28,600 | 26,000 |
| Q7/X7 | 30K (70 CRI) | 269 | 41,700 | 43,900 | 28,700 | 26,300 | 23,900 |
| | 40K (70 CRI) | | 43,400 | 45,700 | 29,900 | 27,400 | 24,900 |
| | 50K (90 CRI) | | 32,100 | 33,800 | 22,100 | 20,200 | 18,400 |
| | 57K (70 CRI) | | 43,400 | 45,700 | 29,900 | 27,400 | 24,900 |
| Q6/X6 | 30K (70 CRI) | 258 | 40,300 | 42,400 | 27,700 | 25,400 | 23,100 |
| | 40K (70 CRI) | | 42,000 | 44,200 | 28,900 | 26,500 | 24,100 |
| | 50K (90 CRI) | | 31,100 | 32,700 | 21,400 | 19,600 | 17,900 |
| | 57K (70 CRI) | | 42,000 | 44,200 | 28,900 | 26,500 | 24,100 |
| Q5/X5 | 30K (70 CRI) | 233 | 36,900 | 38,800 | 25,400 | 23,200 | 21,200 |
| | 40K (70 CRI) | | 38,400 | 40,400 | 26,400 | 24,200 | 22,000 |
| | 50K (90 CRI) | | 28,400 | 29,900 | 19,600 | 17,900 | 16,300 |
| | 57K (70 CRI) | | 38,400 | 40,400 | 26,400 | 24,200 | 22,000 |
| Q4/X4 | 30K (70 CRI) | 215 | 33,500 | 35,200 | 23,000 | 21,100 | 19,200 |
| | 40K (70 CRI) | | 34,900 | 36,700 | 24,000 | 22,000 | 20,000 |
| | 50K (90 CRI) | | 25,900 | 27,200 | 17,800 | 16,300 | 14,875 |
| | 57K (70 CRI) | | 34,900 | 36,700 | 24,000 | 22,000 | 20,000 |
| Q3/X3 | 30K (70 CRI) | 191 | 30,900 | 32,500 | 21,300 | 19,500 | 17,700 |
| | 40K (70 CRI) | | 32,200 | 33,900 | 22,200 | 20,300 | 18,500 |
| | 50K (90 CRI) | | 23,900 | 25,100 | 16,400 | 15,000 | 13,725 |
| | 57K (70 CRI) | | 32,200 | 33,900 | 22,200 | 20,300 | 18,500 |
| Q2/X2 | 30K (70 CRI) | 170 | 27,900 | 29,300 | 19,200 | 17,500 | 16,000 |
| | 40K (70 CRI) | | 29,000 | 30,500 | 19,900 | 18,300 | 16,600 |
| | 50K (90 CRI) | | 21,500 | 22,600 | 14,775 | 13,525 | 12,350 |
| | 57K (70 CRI) | | 29,000 | 30,500 | 19,900 | 18,300 | 16,600 |
| Q1/X1 | 30K (70 CRI) | 153 | 24,600 | 25,900 | 16,900 | 15,500 | 14,125 |
| | 40K (70 CRI) | | 25,700 | 27,000 | 17,700 | 16,200 | 14,750 |
| | 50K (90 CRI) | | 18,900 | 19,900 | 13,000 | 11,925 | 10,850 |
| | 57K (70 CRI) | | 25,700 | 27,000 | 17,700 | 16,200 | 14,750 |

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control (by others).

Q & X Option Power & Lumen Data – 65L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts
120-480V | Lumen Values | | | | |
|--------------------|--------------|--------------------------|----------------|--------------------------------------|------------------------------------|----------------------------|-------------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N,
33, 44, 55,
66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/External BLS |
| Q9
(Full Power) | 19K (50 CRI) | 384 | 48,500 | 51,000 | 33,400 | 30,600 | 27,800 |
| | 30K (70 CRI) | | 59,300 | 62,400 | 40,800 | 37,400 | 34,000 |
| | 40K (70 CRI) | | 61,800 | 65,000 | 42,500 | 38,900 | 35,500 |
| | 50K (90 CRI) | | 45,700 | 48,100 | 31,500 | 28,800 | 26,200 |
| | 57K (70 CRI) | | 61,800 | 65,000 | 42,500 | 38,900 | 35,500 |
| Q8/X8 | 19K (50 CRI) | 368 | 46,275 | 48,700 | 31,800 | 29,200 | 26,600 |
| | 30K (70 CRI) | | 56,600 | 59,500 | 38,900 | 35,600 | 32,500 |
| | 40K (70 CRI) | | 58,900 | 62,000 | 40,500 | 37,100 | 33,800 |
| | 50K (90 CRI) | | 43,600 | 45,900 | 30,000 | 27,500 | 25,000 |
| | 57K (70 CRI) | | 58,900 | 62,000 | 40,500 | 37,100 | 33,800 |
| Q7/X7 | 19K (50 CRI) | 347 | 44,325 | 46,600 | 30,500 | 27,900 | 25,400 |
| | 30K (70 CRI) | | 54,200 | 57,000 | 37,300 | 34,100 | 31,100 |
| | 40K (70 CRI) | | 56,500 | 59,400 | 38,800 | 35,600 | 32,400 |
| | 50K (90 CRI) | | 41,800 | 44,000 | 28,800 | 26,400 | 24,000 |
| | 57K (70 CRI) | | 56,500 | 59,400 | 38,800 | 35,600 | 32,400 |
| Q6/X6 | 19K (50 CRI) | 333 | 42,875 | 45,100 | 29,500 | 27,000 | 24,600 |
| | 30K (70 CRI) | | 52,500 | 55,200 | 36,100 | 33,100 | 30,100 |
| | 40K (70 CRI) | | 54,700 | 57,500 | 37,600 | 34,400 | 31,400 |
| | 50K (90 CRI) | | 40,400 | 42,500 | 27,800 | 25,500 | 23,200 |
| | 57K (70 CRI) | | 54,700 | 57,500 | 37,600 | 34,400 | 31,400 |
| Q5/X5 | 19K (50 CRI) | 301 | 39,200 | 41,200 | 27,000 | 24,700 | 22,500 |
| | 30K (70 CRI) | | 47,900 | 50,400 | 33,000 | 30,200 | 27,500 |
| | 40K (70 CRI) | | 49,900 | 52,500 | 34,300 | 31,400 | 28,600 |
| | 50K (90 CRI) | | 37,000 | 38,900 | 25,400 | 23,300 | 21,200 |
| | 57K (70 CRI) | | 49,900 | 52,500 | 34,300 | 31,400 | 28,600 |
| Q4/X4 | 19K (50 CRI) | 277 | 35,600 | 37,500 | 24,500 | 22,400 | 20,400 |
| | 30K (70 CRI) | | 43,500 | 45,800 | 29,900 | 27,400 | 25,000 |
| | 40K (70 CRI) | | 45,300 | 47,700 | 31,200 | 28,600 | 26,000 |
| | 50K (90 CRI) | | 33,600 | 35,300 | 23,100 | 21,100 | 19,300 |
| | 57K (70 CRI) | | 45,300 | 47,700 | 31,200 | 28,600 | 26,000 |
| Q3/X3 | 19K (50 CRI) | 247 | 32,875 | 34,600 | 22,600 | 20,700 | 18,900 |
| | 30K (70 CRI) | | 40,200 | 42,300 | 27,700 | 25,300 | 23,100 |
| | 40K (70 CRI) | | 41,900 | 44,100 | 28,800 | 26,400 | 24,100 |
| | 50K (90 CRI) | | 31,000 | 32,600 | 21,300 | 19,500 | 17,800 |
| | 57K (70 CRI) | | 41,900 | 44,100 | 28,800 | 26,400 | 24,100 |
| Q2/X2 | 19K (50 CRI) | 220 | 29,575 | 31,100 | 20,300 | 18,600 | 17,000 |
| | 30K (70 CRI) | | 36,200 | 38,100 | 24,900 | 22,800 | 20,800 |
| | 40K (70 CRI) | | 37,700 | 39,700 | 26,000 | 23,800 | 21,600 |
| | 50K (90 CRI) | | 27,900 | 29,300 | 19,200 | 17,500 | 16,000 |
| | 57K (70 CRI) | | 37,700 | 39,700 | 26,000 | 23,800 | 21,600 |
| Q1* | 19K (50 CRI) | 198 | 26,150 | 27,500 | 18,000 | 16,500 | 15,000 |
| | 30K (70 CRI) | | 31,900 | 33,600 | 22,000 | 20,100 | 18,300 |
| | 40K (70 CRI) | | 33,300 | 35,000 | 22,900 | 21,000 | 19,100 |
| | 50K (90 CRI) | | 24,600 | 25,900 | 16,900 | 15,500 | 14,125 |
| | 57K (70 CRI) | | 33,300 | 35,000 | 22,900 | 21,000 | 19,100 |

* X1 option not available with 65L lumen package.

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control [by others].

Q & X Option Power & Lumen Data – 75L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts 120-480V | Lumen Values | | | | |
|--------------------|--------------|-----------------------|----------------|--------------------------------|------------------------------------|----------------------------|-------------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/External BLS |
| Q9
(Full Power) | 30K (70 CRI) | 447 | 68,400 | 72,000 | 47,100 | 43,100 | 39,300 |
| | 40K (70 CRI) | | 71,300 | 75,000 | 49,000 | 44,900 | 40,900 |
| | 50K (90 CRI) | | 52,800 | 55,500 | 36,300 | 33,200 | 30,300 |
| | 57K (70 CRI) | | 71,300 | 75,000 | 49,000 | 44,900 | 40,900 |
| Q8/X8 | 30K (70 CRI) | 420 | 65,300 | 68,700 | 44,900 | 41,100 | 37,500 |
| | 40K (70 CRI) | | 68,100 | 71,600 | 46,800 | 42,900 | 39,100 |
| | 50K (90 CRI) | | 50,300 | 52,900 | 34,600 | 31,700 | 28,900 |
| | 57K (70 CRI) | | 68,100 | 71,600 | 46,800 | 42,900 | 39,100 |
| Q7/X7 | 30K (70 CRI) | 402 | 62,500 | 65,800 | 43,000 | 39,400 | 35,900 |
| | 40K (70 CRI) | | 65,200 | 68,600 | 44,900 | 41,100 | 37,400 |
| | 50K (90 CRI) | | 48,200 | 50,700 | 33,200 | 30,400 | 27,700 |
| | 57K (70 CRI) | | 65,200 | 68,600 | 44,900 | 41,100 | 37,400 |
| Q6/X6 | 30K (70 CRI) | 386 | 60,500 | 63,600 | 41,600 | 38,100 | 34,700 |
| | 40K (70 CRI) | | 63,000 | 66,300 | 43,400 | 39,700 | 36,200 |
| | 50K (90 CRI) | | 46,700 | 49,100 | 32,100 | 29,400 | 26,800 |
| | 57K (70 CRI) | | 63,000 | 66,300 | 43,400 | 39,700 | 36,200 |
| Q5/X5 | 30K (70 CRI) | 349 | 55,300 | 58,200 | 38,100 | 34,900 | 31,700 |
| | 40K (70 CRI) | | 57,600 | 60,600 | 39,600 | 36,300 | 33,100 |
| | 50K (90 CRI) | | 42,600 | 44,800 | 29,300 | 26,800 | 24,500 |
| | 57K (70 CRI) | | 57,600 | 60,600 | 39,600 | 36,300 | 33,100 |
| Q4/X4 | 30K (70 CRI) | 317 | 50,200 | 52,800 | 34,500 | 31,600 | 28,800 |
| | 40K (70 CRI) | | 52,400 | 55,100 | 36,000 | 33,000 | 30,100 |
| | 50K (90 CRI) | | 38,700 | 40,700 | 26,600 | 24,400 | 22,200 |
| | 57K (70 CRI) | | 52,400 | 55,100 | 36,000 | 33,000 | 30,100 |
| Q3/X3 | 30K (70 CRI) | 286 | 46,400 | 48,800 | 31,900 | 29,200 | 26,600 |
| | 40K (70 CRI) | | 48,400 | 50,900 | 33,300 | 30,500 | 27,800 |
| | 50K (90 CRI) | | 35,700 | 37,600 | 24,600 | 22,500 | 20,500 |
| | 57K (70 CRI) | | 48,400 | 50,900 | 33,300 | 30,500 | 27,800 |
| Q2/X2 | 30K (70 CRI) | 256 | 41,700 | 43,900 | 28,700 | 26,300 | 23,900 |
| | 40K (70 CRI) | | 43,500 | 45,800 | 29,900 | 27,400 | 25,000 |
| | 50K (90 CRI) | | 32,200 | 33,900 | 22,200 | 20,300 | 18,500 |
| | 57K (70 CRI) | | 43,500 | 45,800 | 29,900 | 27,400 | 25,000 |
| Q1/X1 | 30K (70 CRI) | 220 | 36,900 | 38,800 | 25,400 | 23,200 | 21,200 |
| | 40K (70 CRI) | | 38,400 | 40,400 | 26,400 | 24,200 | 22,000 |
| | 50K (90 CRI) | | 28,400 | 29,900 | 19,600 | 17,900 | 16,300 |
| | 57K (70 CRI) | | 38,400 | 40,400 | 26,400 | 24,200 | 22,000 |

Field Adjustable Output (Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1) Option Description:

The Field Adjustable Output option enables the OSQ area luminaires to be tuned to the exact needs of a particular application through multiple levels of adjustment. When ordered with the Q option, the luminaire will be shipped from the factory at the selected Q setting and will be fully adjustable between the nine settings.

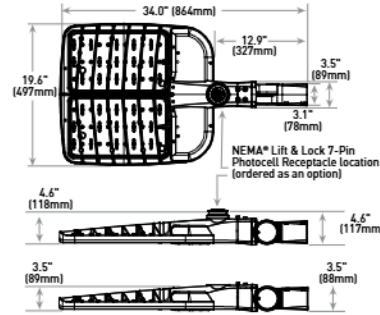
Locked Lumen Output (X8/X7/X6/X5/X4/X3/X2/X1) Option Description:

The Locked Lumen Output option on this page permanently locks the lumen output on the OSQ area luminaire to the setting selected. When ordered with the X option, the luminaire will be shipped from the factory at the lumen output setting selected and will only be able to be adjusted down in the field through a dimming control [by others].

Q & X Option Power & Lumen Data – 85L Lumen Package

| Q/X Option Setting | CCT/CRI | System Watts
120-480V | Lumen Values | | | | |
|--------------------|--------------|--------------------------|----------------|--------------------------------|------------------------------------|----------------------------|-------------------------------|
| | | | 2M, 3M, 4M, AF | 5L, 5M, 5N, 33, 44, 55, 66, 75 | 2B, 3B, AB (factory-installed BLS) | 4B (factory-installed BLS) | 2M, 3M, 4M, AF w/External BLS |
| Q9
(Full Power) | 30K (70 CRI) | 499 | 77,600 | 81,600 | N/A | N/A | 44,500 |
| | 40K (70 CRI) | | 80,800 | 85,000 | N/A | N/A | 46,400 |
| | 50K (90 CRI) | | 59,800 | 62,900 | N/A | N/A | 34,300 |
| | 57K (70 CRI) | | 80,800 | 85,000 | N/A | N/A | 46,400 |
| Q8/X8 | 30K (70 CRI) | 468 | 74,000 | 77,800 | N/A | N/A | 42,500 |
| | 40K (70 CRI) | | 77,100 | 81,100 | N/A | N/A | 44,300 |
| | 50K (90 CRI) | | 57,000 | 60,000 | N/A | N/A | 32,700 |
| | 57K (70 CRI) | | 77,100 | 81,100 | N/A | N/A | 44,300 |
| Q7/X7 | 30K (70 CRI) | 449 | 70,900 | 74,600 | N/A | N/A | 40,700 |
| | 40K (70 CRI) | | 73,900 | 77,700 | N/A | N/A | 42,400 |
| | 50K (90 CRI) | | 54,700 | 57,500 | N/A | N/A | 31,400 |
| | 57K (70 CRI) | | 73,900 | 77,700 | N/A | N/A | 42,400 |
| Q6/X6 | 30K (70 CRI) | 431 | 68,500 | 72,100 | N/A | N/A | 39,300 |
| | 40K (70 CRI) | | 71,400 | 75,100 | N/A | N/A | 41,000 |
| | 50K (90 CRI) | | 52,900 | 55,600 | N/A | N/A | 30,400 |
| | 57K (70 CRI) | | 71,400 | 75,100 | N/A | N/A | 41,000 |
| Q5/X5 | 30K (70 CRI) | 389 | 62,400 | 65,900 | N/A | N/A | 35,900 |
| | 40K (70 CRI) | | 65,300 | 68,700 | N/A | N/A | 37,500 |
| | 50K (90 CRI) | | 48,300 | 50,800 | N/A | N/A | 27,700 |
| | 57K (70 CRI) | | 65,300 | 68,700 | N/A | N/A | 37,500 |
| Q4/X4 | 30K (70 CRI) | 353 | 56,900 | 59,900 | N/A | N/A | 32,700 |
| | 40K (70 CRI) | | 59,300 | 62,400 | N/A | N/A | 34,000 |
| | 50K (90 CRI) | | 43,900 | 46,200 | N/A | N/A | 25,200 |
| | 57K (70 CRI) | | 59,300 | 62,400 | N/A | N/A | 34,000 |
| Q3/X3 | 30K (70 CRI) | 319 | 52,400 | 55,300 | N/A | N/A | 30,200 |
| | 40K (70 CRI) | | 54,800 | 57,600 | N/A | N/A | 31,500 |
| | 50K (90 CRI) | | 40,500 | 42,600 | N/A | N/A | 23,200 |
| | 57K (70 CRI) | | 54,800 | 57,600 | N/A | N/A | 31,500 |
| Q2/X2 | 30K (70 CRI) | 285 | 47,300 | 49,800 | N/A | N/A | 27,200 |
| | 40K (70 CRI) | | 49,300 | 51,900 | N/A | N/A | 28,300 |
| | 50K (90 CRI) | | 36,500 | 38,400 | N/A | N/A | 21,000 |
| | 57K (70 CRI) | | 49,300 | 51,900 | N/A | N/A | 28,300 |
| Q1/X1 | 30K (70 CRI) | 246 | 41,800 | 44,000 | N/A | N/A | 24,000 |
| | 40K (70 CRI) | | 43,500 | 45,800 | N/A | N/A | 25,000 |
| | 50K (90 CRI) | | 32,200 | 33,900 | N/A | N/A | 18,500 |
| | 57K (70 CRI) | | 43,500 | 45,800 | N/A | N/A | 25,000 |

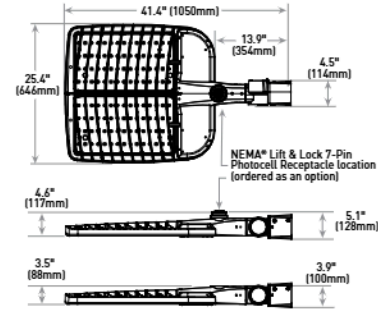
OSQL - AA Mount



| Luminaire | Weight |
|-----------|--------------------|
| OSQL | 28.4 lbs. (12.9kg) |

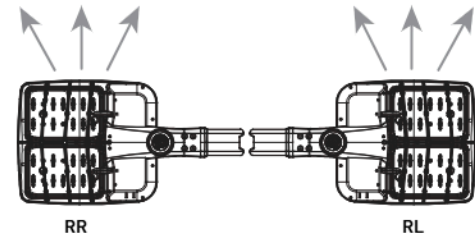
Note: For OSQM w/AA mount, refer to drawing on page 1.

OSQX - AA Mount



| Luminaire | Weight |
|-----------|--------------------|
| OSQX | 48.6 lbs. (22.0kg) |

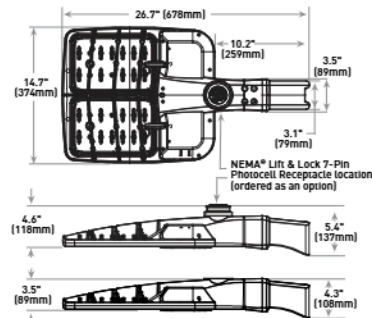
RR/RL Configuration



OSQM - DA Mount



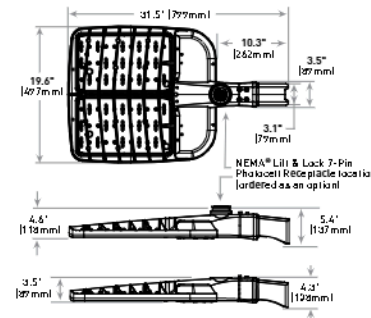
OSQM - DA Mount



| Luminaire | Weight |
|-----------|-------------------|
| OSQM | 19.7 lbs. (8.9kg) |

Note: Refer to page 15 for fixture mounting drill pattern.

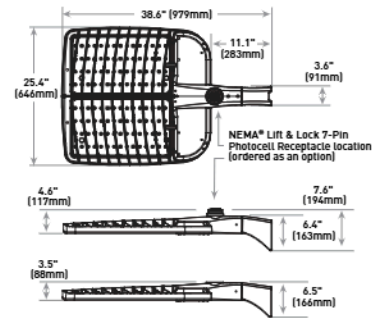
OSQL - DA Mount



| Luminaire | Weight |
|-----------|--------------------|
| OSQL | 28.8 lbs. (13.1kg) |

Note: Refer to page 15 for fixture mounting drill pattern.

OSQX - DA Mount



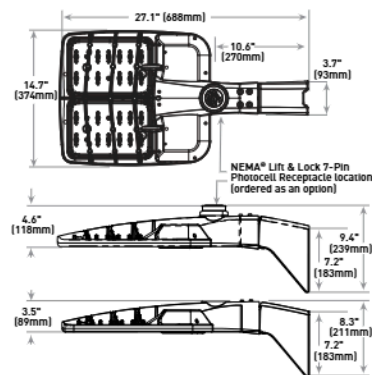
| Luminaire | Weight |
|-----------|--------------------|
| OSQX | 45.8 lbs. (20.8kg) |

Note: Refer to page 15 for fixture mounting drill pattern.

OU Mount



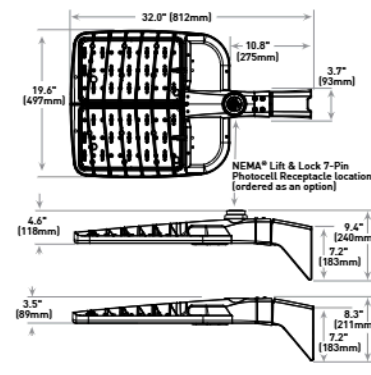
OSQM - OU Mount



| Luminaire | Weight |
|-----------|-------------------|
| OSQM | 20.6 lbs. (9.4kg) |

Note: Refer to page 15 for fixture mounting drill pattern.

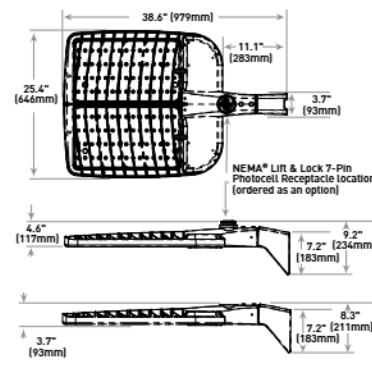
OSQL - OU Mount



| Luminaire | Weight |
|-----------|--------------------|
| OSQL | 29.7 lbs. (13.5kg) |

Note: Refer to page 15 for fixture mounting drill pattern.

OSQX - OU Mount



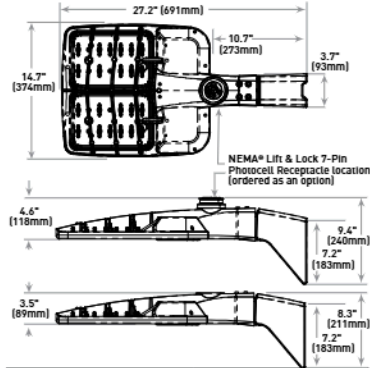
| Luminaire | Weight |
|-----------|--------------------|
| OSQX | 45.7 lbs. (20.8kg) |

Note: Refer to page 15 for fixture mounting drill pattern.

HU Mount



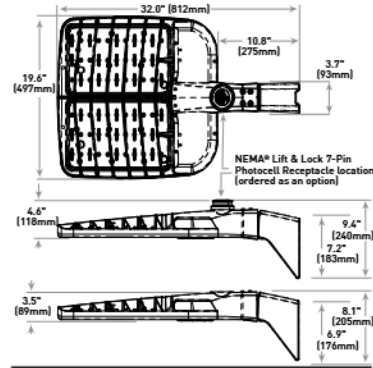
OSQM - HU Mount



| Luminaire | Weight |
|-----------|-------------------|
| OSQM | 20.3 lbs. (9.2kg) |

Note: Refer to page 15 for fixture mounting drill pattern.

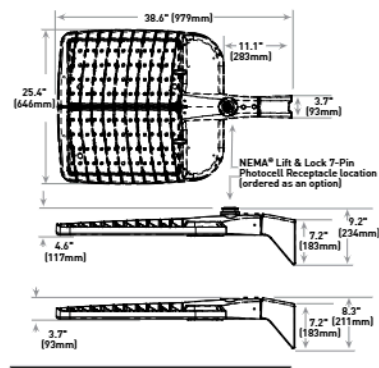
OSQL - HU Mount



| Luminaire | Weight |
|-----------|--------------------|
| OSQL | 29.4 lbs. (13.3kg) |

Note: Refer to page 15 for fixture mounting drill pattern.

OSQX-HU Mount



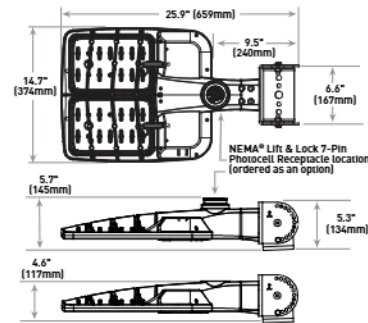
| Luminaire | Weight |
|-----------|--------------------|
| OSQX | 45.4 lbs. (20.6kg) |

Note: Refer to page 15 for fixture mounting drill pattern.

OSQM - Trunnion Mount

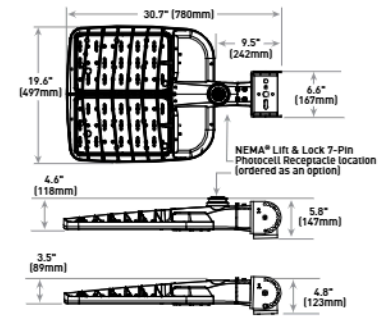


OSQM - Trunnion Mount



| Luminaire | Weight |
|-----------|--------------------|
| OSQM | 23.2 lbs. (10.5kg) |

OSQL - Trunnion Mount



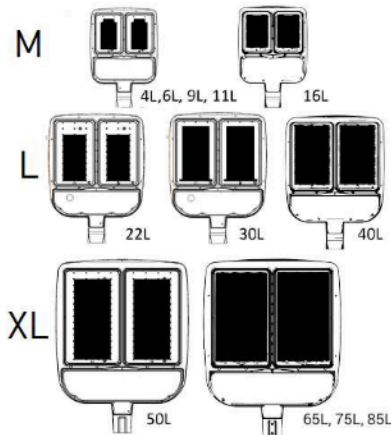
| Luminaire | Weight |
|-----------|--------------------|
| OSQL | 32.3 lbs. (14.7kg) |

LIGHT ENGINE POPULATION PER LUMEN PACKAGE

EFFECTIVE: 05/15/25

NOTE: Some versions are provided with full circuit board, but not fully populated with LEDs or optics to scale back lumen package.

The areas blacked out in the image below show the illuminated area.

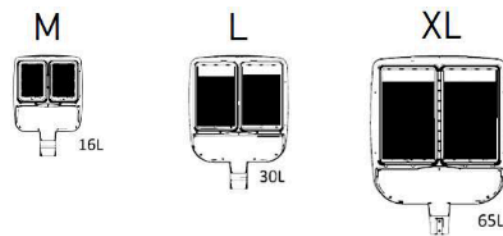


LIGHT ENGINE POPULATION PER LUMEN PACKAGE - 19K5

EFFECTIVE 02/28/2025

NOTE: Some versions are provided with full circuit board, but not fully populated with LEDs or optics to scale back lumen package.

The areas blacked out in the image below show the illuminated area.



Replacement Parts

| Replacement Kits | |
|--|--|
| DA Mounting Hardware Kit
OSQ-ML-C-DA-HRDWRBG
- For use only with OSQM and OSQL luminaires with DA mount
- Includes (2) Bolts, (1) Foam Gasket, and (1) Backing Plate | |

| Driver Replacement Kits | | | | |
|-------------------------|--|--|---|---|
| OSQ-C-DVRKT | | | | |
| Product | Lumen Package | | Voltage | Controls |
| OSQ-C-DVRKT | 4L
4,000 Lumens
6L
6,000 Lumens
9L
9,000 Lumens
11L
11,000 Lumens
16L
16,000 Lumens
22L
22,000 Lumens | 30L
30,000 Lumens
40L
40,000 Lumens
50L
50,000 Lumens
65L
65,000 Lumens
75L
75,000 Lumens
85L
85,000 Lumens | UL
Universal
120-277V
UH
Universal
347-480V
- Not available with 4L, 40L, 75L or 85L lumen packages
UE
Universal
277-480V
- Available with only 40L, 75L and 85L lumen packages when ordered with 0-10V dimming, BML, NS/NS2, Q9 Field Adjustable or X8 Locked Lumen controls
- Available with only 16L-40L lumen packages when ordered with DLI or Z1 controls | BLANK
- For use with no controls (standard 0-10V dimming)
- For use with BML, NS and NS2 controls (sensors not included)
- For use with Q9/Q8/Q7/Q6/Q5/Q4/Q3/Q2/Q1 controls (field adjustable output module not included)
DLI DALI® Compatible
- For use with luminaires with DLI or Z1 controls
- Available only with 6L-40L lumen packages (UL) and 16L-40L lumen packages (UE)
- Not available with other controls
X8/X7/X6/X5/X4/X3/X2/X1
Locked Lumen Output
- Must select X8, X7, X6, X5, X4, X3, X2, or X1
- X1 option not available with the following lumen package/voltage offerings: 9L/UL, 16L/UL, 16L/UH, 30L/UL, 30L/UH, 65L/UL, 65L/UH
- X2 option not available 9L/UL lumen package/voltage
- Lumen output is permanently locked to the setting selected |

DarkSky Compliant Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately:
 Example: Mount: OSQ-ML-C-DA-BK + Luminaire: OSQM-C-4L-30K7-2M-UL-NM-BK

| Mount (Luminaire must be ordered separately)* | | | |
|--|---|-----------------------|--|
| OSQ- | | | |
| Medium/Large Mounts
OSQ-ML-C-DA Direct Arm
OSQ-MLX-C-OU Universal Direct Arm w/Adjustable Bolt Spacing
OSQ-MLX-C-HU Universal Direct Arm w/4-Bolt Drill Pattern
(Matches existing THE EDGE® High Output Luminaires w/EHO-UNV Mount)** | Extra Large Mounts
OSQ-X-C-DA Direct Arm
OSQ-MLX-C-OU Universal Direct Arm w/Adjustable Bolt Spacing
OSQ-MLX-C-HU Universal Direct Arm w/4-Bolt Drill Pattern (Matches existing THE EDGE® High Output Luminaires w/EHO-UNV Mount)** | Color Options: | SV Silver
BZ Bronze
BK Black
WH White |

* Reference fixture mounting drill pattern, EPA, and pole configuration suitability data beginning on page 13.
 ** Not for use with THE EDGE® High Output luminaires w/DM Mount.

| Luminaire (Mount must be ordered separately) | | | | | | | | | | | |
|--|---|--------|---|---|--|---|---|--|--|---|--|
| OSQ | C | | | | | | | | | | |
| Family | Size | Series | Lumen Package ¹ | CCT/CRI | Optic | Voltage | Mounting | Finish | Controls* | Options | |
| OSQ | M
Medium
L
Large
X
Extra Large | C | Medium
4L
4,000 Lumens
6L
6,000 Lumens
9L
9,000 Lumens
11L
11,000 Lumens
16L
16,000 Lumens
Large
22L
22,000 Lumens
30L
30,000 Lumens
40L
40,000 Lumens
Extra Large
50L
50,000 Lumens
65L
65,000 Lumens
75L
75,000 Lumens
85L
85,000 Lumens | 19K5
1990K
50 CRI
- Available only with 16L, 30L & 45L lumen packages
30K7
3000K
70 CRI
3M
Type III Mid
3B**
Type III Mid w/Facory-Installed Backlight Shield
- Available with all lumen packages except 65L
4M
Type IV Mid
4B**
Type IV Mid w/Facory-Installed Backlight Shield
- Available with all lumen packages except 65L
5L
Type V Long
5M
Type V Mid
5N
Type V Narrow | 2M
Type II Mid
2B**
Type II Mid w/Facory-Installed Backlight Shield
- Available with all lumen packages except 65L
3M
Type III Mid
3B**
Type III Mid w/Facory-Installed Backlight Shield
- Available with all lumen packages except 65L
4M
Type IV Mid
4B**
Type IV Mid w/Facory-Installed Backlight Shield
- Available with all lumen packages except 65L
5L
Type V Long
5M
Type V Mid
5N
Type V Narrow | AF
Automotive FrontlineOptic™
AB**
Automotive Frontline Optic™ w/Facory-Installed Backlight Shield
- Available with all lumen packages except 65L
UE
Universal
120-277V
UH
Universal
347-480V
- Not available with 4L, 40L, 75L or 85L lumen packages
UE
Universal
277-480V
- Available only with 40L, 75L, 85L and 85L lumen packages when ordered with 0-10V dimming, BML, NS/NS2, Q9 Field Adjustable or X8 Locked Lumen controls
UL
Universal
120-277V
UH
Universal
347-480V
- Not available with 4L, 40L, 75L or 85L lumen packages
UE
Universal
277-480V
- Available only with 40L, 75L, 85L and 85L lumen packages when ordered with 0-10V dimming, BML, NS/NS2, Q9 Field Adjustable or X8 Locked Lumen controls
UL
Universal
120-277V
UH
Universal
347-480V
- Not available with 4L, 40L, 75L or 85L lumen packages
UE
Universal
277-480V
- Available only with 40L, 75L, 85L and 85L lumen packages when ordered with 0-10V dimming, BML, NS/NS2, Q9 Field Adjustable or X8 Locked Lumen controls | NM
No Mount
- Must specify mount from table above
- Mount ships separately | BK
Black
BZ
Bronze
SV
Silver
WH
White | BML
Bluetooth® Technology Enabled Multi-Level Sensor
- Utilizes a multifunction sensor
- Refer to BML_spec_sheet for details
- 20-40° sensor lens installed on luminaire; 8-20° sensor lens and aisle shroud included
- Intended for downlight applications at 0° tilt
- Not available with other controls or Synapse TL7-HVG accessory
DLI
DALI® Compatible
- Utilizes DALI 2 nd and DALI ² driver that dims to 10%
- Available only with 6L-40L lumen packages (UL) and 16L-40L lumen packages (UE)
- Not available with other controls
NS
Network Sensor, 20-40° Mounting Height
NS2
Network Sensor, 10-30° Mounting Height
- Utilizes a multifunction sensor
- Refer to PML/NS spec sheet for details
- Intended for downlight applications at 0° tilt
- NS for use only with OSQM & OSQL
- NS2 for use only with OSQM & OSQL
- Not for use with other controls
- Requires TL7-HVG Synapse Control Accessory (see page 2) and either N or R option
- XA-SENSREM Hand-held Remote Accessory (see page 2) required only for changing sensitivity or time delay settings. Dimming changes handled through the TL7-HVG
09/08/07/04/05/04/02/01
Field Adjustable Output
- Must select Q9, Q8, Q7, Q6, Q5, Q4, Q3, Q2, or Q1
- Offers full range adjustability
- Refer to pages 16-27 for power and lumen values
- Not available with other controls or Synapse TL7-HVG accessory
X8/X7/X6/X5/X4/X3/X2/X1
Locked Lumen Output
- Must select X8, X7, X6, X5, X4, X3, X2, or X1
- Not available with other controls
- X1 option not available with the following lumen package/voltage offerings: 9L/UL, 16L/UL, 16L/UH, 30L/UL, 30L/UH, 65L/UL, 65L/UH
- X2 option not available 9L/UL lumen package/voltage
- Lumen output is permanently locked to the setting selected
- Refer to pages 16-27 for power and lumen values
Z1
Zhaga® Book 18 Socket, bottom of luminaire
- Utilizes DALI 2 nd or DALI ² driver that dims to 10%
- Includes cap. Zhaga sensor is available as an accessory (see Accessory table on page 2) or by others
- Intended for downlight applications at 0° tilt
- Available only with 6L-40L lumen packages (UL) and 16L-40L lumen packages (UE)
- Not available with other controls | 20KV
20KV/10kVA Surge Suppression
- Replaces standard 10kVA surge protection
- Not available with NS/NS2 options
F
Fuse
- Compatible with 120V, 277V or 347V (phase to neutral)
- Consult factory if fusing is required for 208V, 240V or 480V (phase to phase)
N
Neutral
- When code dictates fusing, use time delay fuse
- Available only with OSQM & OSQL luminaires
- Factory connected 0-10V dim leads
- External utility label per ANSI C136.15-2020
- 7-pin receptacle per ANSI C136.41
- Available only with OSQM & OSQL luminaires
R
Remote
- Requires photocell or shoring cap by others
- NEMA® L8 & Lock 7-Pin Photocell Receptacle
- 7-pin receptacle per ANSI C136.41
- Factory connected 0-10V dim leads
- Requires photocell or shoring cap by others
- Refer to page 2 for compatible Synapse control offerings
RL
Remote Left
- LED and optic are rotated to the left
- Refer to RR/RL configuration diagram on page 28 for optic dimensionality
- May be used with factory-installed backlight shield optics (2B, 3B, 4B, 5B)
- Not for use with 5L, 5M, 5N, 33, 44, 55, 66 or 75 optics
RR
Remote Right
- LED and optic are rotated to the right
- Refer to RR/RL configuration diagram on page 28 for optic dimensionality
- May be used with factory-installed backlight shield optics (2B, 3B, 4B, 5B)
- Not for use with 5L, 5M, 5N, 33, 44, 55, 66 or 75 optics | |

¹ Lumen Package codes identify approximate light output only. Actual lumen output levels vary by CCT and optic selection. Refer to Initial Delivered Lumen tables for specific lumen values.

* Luminaire comes standard with 0-10V dimming.

** Factory-installed backlight shields are integral to luminaire optic and may not be removed in the field. For field-install backlight control, please refer to the External Backlight Shields in the accessory table on page 2.

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 US: (800) 236-6800 Canada: (800) 473-1234



SSS Series

Crown-Weld® Straight Square Steel Poles

Rev. Date: V15 08/14/2025

Product Description

Cree Lighting's proprietary Crown-Weld® pole base crown weld configuration was designed to minimize stress in areas most vulnerable to failure, provide superior strength and higher wind load ratings, than poles of similar height and cross-section. Both premium pole design and extended life finish combine for a 7-year limited warranty for a reduced lifetime cost of ownership.

Non-tapered square steel poles are supplied with a painted galvanized steel 2-piece base cover, four partially galvanized anchor bolts, Masonite mounting template and pole cap (except open top mount). Steel pole base has slotted holes to accommodate installation. A standard 3" x 5" hand hole is located 14" above the bottom of pole base on 4-6" poles. 3" poles have a 2-5/8" x 4-1/2" hand hole located 14" above the bottom of the base plate. A 1/2" stainless-steel weld stud with grounding lug is located inside the pole, opposite the hand hole.

Cree Lighting poles are steel shot cleaned to remove any rust, mill scale, oxides, or other unwanted particles from the pole resulting in a surface preparation that exceeds the specifications published by the SSPC-SP10. Iron phosphate is then applied, creating an iron oxide base with a flat or amorphous metal phosphate topcoat. This coating significantly adds to the performance of the finished coating by improving bonding and minimizing the spread of oxidation if the coating is scratched, improving corrosion resistance. Polyester powder coating is applied to a 6-mil thickness.

CONSTRUCTION & MATERIALS

- Square, non tapered pole of structural steel tubing (ASTM A 500 Grade B) with a minimum yield strength of 50,000 p.s.i. (4-6" poles) or 46,000 p.s.i. (3" poles) welded to a formed carbon steel base plate (ASTM A-36 HRS) with a minimum yield strength of 36,000 p.s.i.
- Anchor bolts (F1554 Grade 55) are "L" bent bars having a minimum yield strength of 55,000 p.s.i. The bolts are at least partially galvanized per ASTM A153 specifications and furnished complete with two (2) hex nuts and 2 flat washers
- Base cover is 2 pc. 16 ga. painted galvanized steel which connects with two 410 stainless steel screws included
- Pole cap is painted PVC
- Optional GFI receptacle available. Refer to page 3 for details

REGULATORY & VOLUNTARY QUALIFICATIONS

- National Electrical Code Requirements
- UL Listed in US for electrical ground bonding
- CSA Certified in Canada for ground bonding and structural strength
- RoHS Compliant (consult factory for details)
- Meets requirements of BAA and/or BABA when ordered with US option. Consult factory when needed for a project: www.creelighting.com/BAA-BABA

LIMITED WARRANTY*

- 7 years for pole and tenons/7 years for finish /1 year for GFI receptacle

* See <https://www.creelighting.com/resources/warranties/> for warranty terms

Ordering Information

Fully assembled pole is composed of two components that must be ordered separately.

Example: **Anchor Bolts w/Template:** SSS-4-AB-3/4-28 + **Pole:** SSS-4-7-25-CW-BS-1D-C-BZ

| Anchor Bolts /Templates (Pole must be ordered separately) | |
|---|--|
| SSS- | |
| SSS-3-AB-3/4-18 | Anchor Bolts & Template for 3" Poles: 0.75" anchor bolts, 10" bolt circle (9.25-11" range) |
| SSS-4-AB-3/4-18 | Anchor Bolts & Template for 4", 10-12" Poles: 0.75" anchor bolts, 10" bolt circle (9.25-11" range) |
| SSS-4-AB-3/4-28 | Anchor Bolts & Template for 4", 15" Poles: 0.75" anchor bolts, 10" bolt circle (9.25-11" range) |
| SSS-5-AB-1-34 | Anchor Bolts & Template for 5" Poles: 1" anchor bolts, 10" bolt circle (9.75-11.31" range) |
| SSS-6-AB-1-36 | Anchor Bolts & Template for 6" Poles: 1" anchor bolts, 11.5" bolt circle (11.25-12.75" range) |

NOTE: For BAA/BABA compliant anchor bolts, -US must be specified prior to order, i.e. SSS-4-AB-3/4-28-US.

| Pole (Anchor bolts must be ordered separately) | | | | | | | | | | | |
|--|---------------|------------|--------------------------------------|---|--|---------------------|-------------------------|--|---|--|--|
| SSS | | | | | | CW | | BS | | | |
| Design | Cross Section | Material | Shaft Size | Wall Thickness (GA) | Mounting Height | Base Type | Base Casting/Cover | Mounting Configuration | Fixture Mounting Drill Pattern** | Finish | Options |
| S
Straight | S
Square | S
Steel | 3 = 3"
4 = 4"
5 = 5"
6 = 6" | 3" Poles
11
11 gauge (0.125")
4" Poles
11
11 gauge (0.125")
7
7 gauge (0.188")
- Available only in 20", 22", 25" and 30" mounting heights
5" Poles
7
7 gauge (0.188")
6" Poles
7
7 gauge (0.188") | 3" Poles
10 = 10"
15 = 15"
4" Poles
10 = 10"
12 = 12"
15 = 15"
17 = 17"
20 = 20"
22 = 22"
25 = 25"
27 = 27"
30 = 30"
5" Poles
15 = 15"
20 = 20"
22 = 22"
25 = 25"
30 = 30"
6" Poles
25 = 25"
30 = 30" | CW
Crown
Weld | BS
Standard
Metal | Drilled Poles (layout on page 2)
1D
Drilled for Direct Mount (Single @ 180°)
2D90
Drilled for Direct Mount (2 @ 180° & 270°)
2D18
Drilled for Direct Mount (2 @ 0° & 180°)
3D90
Drilled for Direct Mount (3 @ 0°, 180° & 270°)
4D90
Drilled for Direct Mount (4 @ 0°, 90°, 180° & 270°)
Open Top Poles
OT*
Open top to accept internal mount tenons or brackets | Use w/Drilled Poles
C Standard Cree Lighting Drill Pattern
- For use with Cree Lighting area/flood luminaires with DA or OSQ-ML-C-DA mounts
Q Q Drill Pattern
- Drill Pattern for use only with luminaires with OSQ-X-C-DA or OSQ-MLX-C-OU mounts
Use w/Open Top Poles
N None
- Required with OT mounting configuration | BK
Black
BZ
Bronze
SV
Silver
WH
White | GFI
GFI Receptacle
- Available only with 4"-6" poles
- Located 28" above the base of the pole on same side as hand hole.
Consult factory for placement in other locations
US BAA/BABA Compliant
- Must be specified prior to order
- Consult factory for availability |

* Order tenon separately. Refer to [Bracket and Tenons spec sheet](#) for additional information. ** Refer to page 3 for fixture mounting patterns.

Crown-Weld Base (shown on 3" square pole)



The Look of Crown-Weld Quality

Note: Poles must be unwrapped upon delivery.

CA RESIDENTS WARNING: Cancer and Reproductive Harm - www.p65warnings.ca.gov

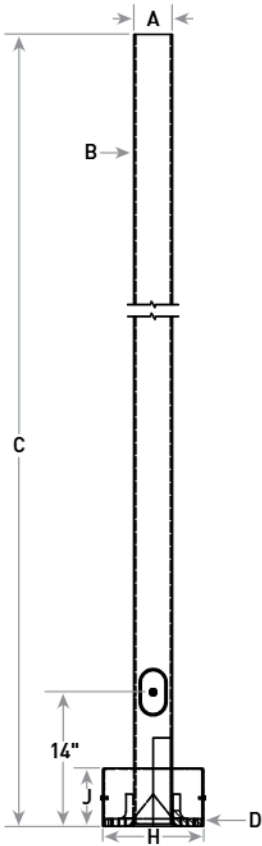


Website: creelighting.com

US: (800) 236-6800 Canada: (800) 473-1234

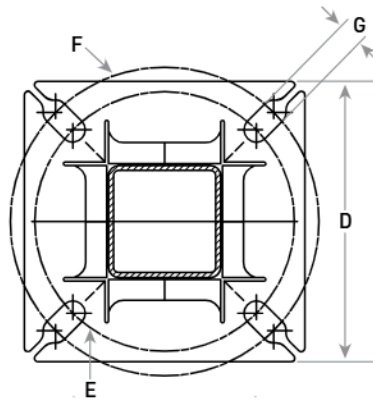
CREE ⇄ **LIGHTING**®

Pole Drawing



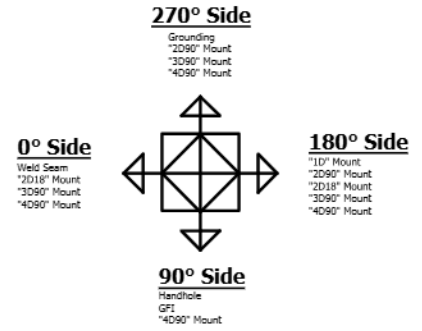
Refer to page 4 for dimensions A-J. Dimensions are based on pole selection.

Base Plate Detail



Refer to page 4 for dimensions A-J. Dimensions are based on pole selection.

Drilled Pole Layout

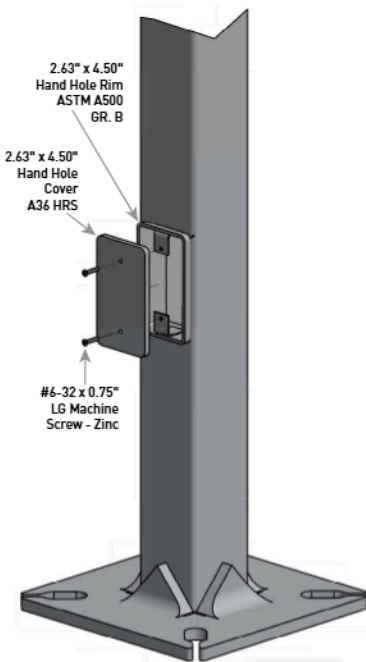


Anchor Bolt Detail

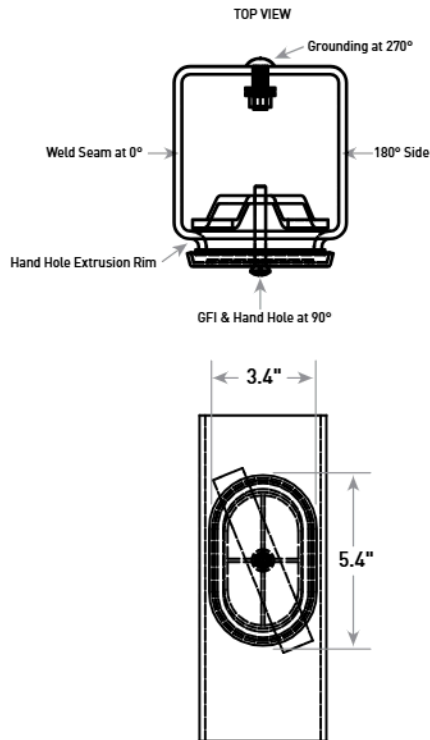


| Pole Width | Pole Height | Part Number | Anchor Bolt Diameter (K) | Anchor Bolt Vertical Length (L) | Anchor Bolt Horizontal Length (M) | Bolt Circle/Range |
|------------|-------------|-----------------|--------------------------|---------------------------------|-----------------------------------|--------------------|
| 3" | All | SSS-3-AB-3/4-18 | 0.75" | 17" | 3" | 10"/9.25-11" |
| 4" | 10'-12' | SSS-4-AB-3/4-18 | 0.75" | 17" | 3" | 10"/9.25-11" |
| 4" | 15' + | SSS-4-AB-3/4-28 | 0.75" | 24" | 4" | 10"/9.25-11" |
| 5" | All | SSS-5-AB-1-36 | 1" | 36" | 4" | 10"/9.75-11.31" |
| 6" | All | SSS-6-AB-1-36 | 1" | 36" | 4" | 11.5"/11.25-12.75" |

Hand Hole Drawings (3" Poles Only)

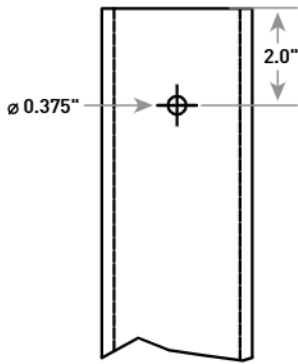


Hand Hole Drawings (4-6" Poles Only)

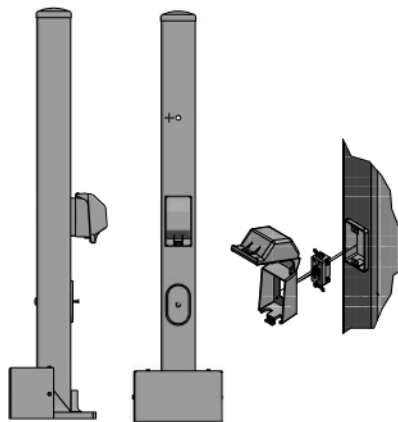


Fixture Mounting Drill Patterns

N - Open Top Mounting Configuration



Optional GFI (shown on 4-6\"/>

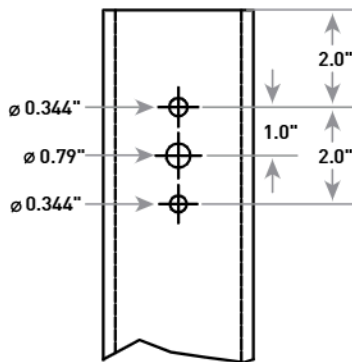


CONSTRUCTION & MATERIALS

- Heavy-duty steel construction
- Lockable security cover
- Includes adapter plates and foam gasket
- 20A, 120V, 60Hz GFCI, and cover also included
- 3-1/4\"/>
- Standard GFI is located 28\"/>
- Weatherproof while in use
- Meets NEC Extra Duty requirements
- Receptacle and cover ship separately in hardware bag

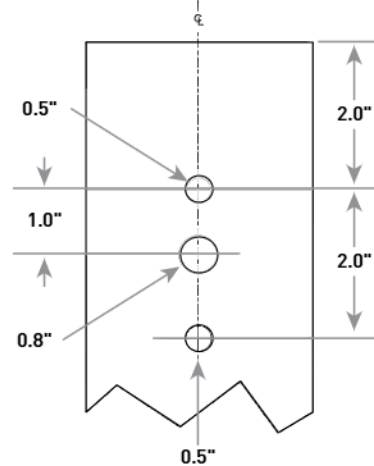
C - Standard Cree Lighting Fixture Mounting Drill Pattern

For use with Cree Lighting area/flood luminaires with DA or OSQ-ML-C-DA mounts.



Q - Q Mounting Drill Pattern

For use with Cree Lighting area/flood luminaires with OSQ-X-C-DA or OSQ-MLX-C-OU mounts.



Tenon EPA

| Part Number | EPA |
|------------------|------|
| PB-1A* | None |
| PB-2A* | 0.82 |
| PB-3A* | 1.52 |
| PB-4A* (180) | 2.22 |
| PB-4A* (90) | 1.11 |
| PD Series Tenons | 0.09 |
| PW-1A3** | 0.47 |
| PW-2A3** | 0.94 |
| XA-TMDA8 | 0.07 |

Tenons and Brackets¹ (must specify color)

Square Internal Mount Vertical Tenons (Steel)

- Mounts to 3-6" (76-152mm) square aluminum or steel poles
 - For use with adjustable arm & horizontal/vertical tenon mounts
 - Not for use with THE EDGE® Area Round Post Top mounts
- | | |
|--------------------|-------------------------|
| PB-1A* - Single | PB-4A*(90) - 90° Quad |
| PB-2A* - 180° Twin | PB-4A*(180) - 180° Quad |
- PB-3A* - 180° Triple

Mid-Pole Bracket (Steel)

- Mounts to square pole
 - For use with adjustable arm & horizontal/vertical tenon mounts
- PW-1A3** - Single
PW-2A3** - Double

Square Internal Mount Horizontal Tenons (Aluminum)

- Mounts to 4" (102mm) square aluminum or steel poles
 - For use with adjustable arm mounts and RUL luminaires
 - Not for use with OSQX Area/Flood luminaires
- | | |
|-------------------------|-------------------------|
| PD-2A4(90) - 90° Twin | PD-3A4(90) - 90° Triple |
| PD-2A4(180) - 180° Twin | PD-4A4(90) - 90° Quad |

Direct Arm Pole Adaptor Bracket (Aluminum)

- Mounts to 3-6" (76-152mm) round or square aluminum or steel poles
 - For use with horizontal tenon mounts that require extended tenon length
 - Not for use with OSQX Area/Flood luminaires
- XA-TMDA8

Square Internal Mount Horizontal Tenons (Aluminum)

- Mounts to 4" (102mm) square aluminum or steel poles
 - For use with horizontal tenon mounts that require extended tenon length
 - Not for use with OSQX Area/Flood luminaires
- | | |
|-----------------------|-------------------------|
| PD-1H4 - Single | PD-3H4(90) - 90° Triple |
| PD-2H4(90) - 90° Twin | PD-4H4(90) - 90° Quad |
- PD-2H4(180) - 180° Twin

¹ Refer to the [Bracket and Tenons spec sheet](#) for more details on tenons. Refer to product specification sheets for compatible tenons.

* Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6") for single, double or triple luminaire orientation or 4 (4"), 5 (5"), or 6 (6") for quad luminaire orientation

** These EPA values must be multiplied by the following ratio: Fixture Mounting Height/Total Pole Height. Specify pole size: 3 (3"), 4 (4"), 5 (5"), or 6 (6").

Dimensions, EPA & Weight

| Product | Width (A) x Wall (B) x Height (C) | Base Plate (D) x Thickness | Bolt Circle/ Range Min (E) - Max (F) | Bolt Hole Size (G) | Base Cover (H) x Height (J) | Pole EPA Rating – Base Wind Velocity (MPH) | | | | | | | | Maximum Luminaire Weight | Approx. Shipping Weight |
|--------------------|-----------------------------------|----------------------------|--------------------------------------|--------------------|-----------------------------|--|------|------|------|------|------|------|------|--------------------------|-------------------------|
| | | | | | | 70 | 80 | 90 | 100 | 110 | 120 | 130 | 140 | | |
| SSS-3-11-10-CW-BS | 3" x 11ga. x 10' | 10" Sq. x 0.50" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 31.4 | 23.6 | 18.2 | 14.3 | 11.5 | 9.3 | 7.0 | 6.3 | 250 lbs. (114kg) | 58 lbs. (26kg) |
| SSS-3-11-15-CW-BS | 3" x 11ga. x 15' | 10" Sq. x 0.50" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 18.5 | 13.4 | 9.9 | 7.4 | 5.5 | 4.1 | 3.0 | 2.2 | 250 lbs. (114kg) | 82 lbs. (37kg) |
| SSS-4-11-10-CW-BS | 4" x 11ga. x 10' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 59.9 | 45.2 | 35.1 | 27.9 | 22.6 | 18.5 | 15.4 | 12.9 | 350 lbs. (159kg) | 78 lbs. (35kg) |
| SSS-4-11-12-CW-BS | 4" x 11ga. x 12' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 48.4 | 36.2 | 27.9 | 21.9 | 17.5 | 14.2 | 11.6 | 9.5 | 350 lbs. (159kg) | 99 lbs. (45kg) |
| SSS-4-11-15-CW-BS | 4" x 11ga. x 15' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 36.5 | 26.9 | 20.3 | 15.6 | 12.1 | 9.5 | 7.4 | 5.8 | 350 lbs. (159kg) | 119 lbs. (54kg) |
| SSS-4-11-17-CW-BS | 4" x 11ga. x 17' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 30.7 | 22.3 | 16.6 | 12.5 | 9.4 | 7.1 | 5.3 | 3.9 | 350 lbs. (159kg) | 131 lbs. (59kg) |
| SSS-4-11-20-CW-BS | 4" x 11ga. x 20' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 24.0 | 16.9 | 12.1 | 8.7 | 6.1 | 4.2 | 2.7 | 1.5 | 350 lbs. (159kg) | 150 lbs. (68kg) |
| SSS-4-11-22-CW-BS | 4" x 11ga. x 22' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 20.4 | 14.0 | 9.7 | 6.6 | 4.3 | 2.5 | 1.2 | 0.1 | 310 lbs. (141kg) | 163 lbs. (74kg) |
| SSS-4-11-25-CW-BS | 4" x 11ga. x 25' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 15.9 | 10.4 | 6.6 | 3.9 | 1.9 | 0.4 | 0.0 | 0.0 | 350 lbs. (159kg) | 182 lbs. (83kg) |
| SSS-4-11-27-CW-BS* | 4" x 11ga. x 27' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 22.0 | 14.9 | 10.0 | 6.6 | 4.0 | 2.0 | 0.0 | 0.0 | 280 lbs. (127kg) | 232 lbs. (105kg) |
| SSS-4-11-30-CW-BS* | 4" x 11ga. x 30' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 17.7 | 11.4 | 7.1 | 4.0 | 1.7 | 0.0 | 0.0 | 0.0 | 315 lbs. (143kg) | 301 lbs. (137kg) |
| SSS-4-7-20-CW-BS | 4" x 7ga. x 20' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 35.9 | 26.1 | 19.3 | 14.5 | 10.9 | 8.2 | 6.1 | 4.4 | 350 lbs. (159kg) | 177 lbs. (80kg) |
| SSS-4-7-22-CW-BS | 4" x 7ga. x 22' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 31.1 | 22.3 | 16.2 | 11.8 | 8.6 | 6.2 | 4.3 | 2.8 | 350 lbs. (159kg) | 207 lbs. (94kg) |
| SSS-4-7-25-CW-BS | 4" x 7ga. x 25' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 25.3 | 17.6 | 12.3 | 8.5 | 5.7 | 3.6 | 1.9 | 0.6 | 350 lbs. (159kg) | 252 lbs. (114kg) |
| SSS-4-7-30-CW-BS | 4" x 7ga. x 30' | 10" Sq. x 0.75" | 10"/9.25-11" | 0.88" | 10.44" SQ x 5.5" | 19.5 | 12.5 | 7.8 | 4.4 | 1.9 | 0.0 | 0.0 | 0.0 | 340 lbs. (155kg) | 337 lbs. (153kg) |
| SSS-5-7-15-CW-BS | 5" x 7ga. x 15' | 10" Sq. x 0.75" | 10"/9.75-11.31" | 1.25" | 10.44" SQ x 5.5" | 87.4 | 65.6 | 50.7 | 40.0 | 32.1 | 26.1 | 21.4 | 17.7 | 450 lbs. (204kg) | 202 lbs. (92kg) |
| SSS-5-7-20-CW-BS | 5" x 7ga. x 20' | 10" Sq. x 0.75" | 10"/9.75-11.31" | 1.25" | 10.44" SQ x 5.5" | 60.6 | 44.6 | 33.7 | 25.8 | 20.0 | 15.6 | 12.2 | 9.5 | 450 lbs. (204kg) | 261 lbs. (118kg) |
| SSS-5-7-22-CW-BS | 5" x 7ga. x 22' | 10" Sq. x 0.75" | 10"/9.75-11.31" | 1.25" | 10.44" SQ x 5.5" | 53.1 | 38.7 | 28.8 | 21.7 | 16.5 | 12.5 | 9.4 | 7.0 | 450 lbs. (204kg) | 285 lbs. (129kg) |
| SSS-5-7-25-CW-BS | 5" x 7ga. x 25' | 10" Sq. x 0.75" | 10"/9.75-11.31" | 1.25" | 10.44" SQ x 5.5" | 43.9 | 31.4 | 22.8 | 16.6 | 12.1 | 8.7 | 6.0 | 3.8 | 450 lbs. (204kg) | 320 lbs. (145kg) |
| SSS-5-7-30-CW-BS | 5" x 7ga. x 30' | 10" Sq. x 0.75" | 10"/9.75-11.31" | 1.25" | 10.44" SQ x 5.5" | 32.2 | 21.9 | 14.9 | 9.9 | 6.2 | 3.4 | 1.2 | 0.0 | 375 lbs. (170kg) | 379 lbs. (172kg) |
| SSS-6-7-25-CW-BS | 6" x 7ga. x 25' | 12" Sq. x 1" | 11.5"/11.25-12.75" | 1.25" | 12.44" SQ x 6.15" | 67.5 | 49.0 | 36.3 | 27.2 | 20.5 | 15.4 | 11.4 | 8.3 | 525 lbs. (238kg) | 396 lbs. (180kg) |
| SSS-6-7-30-CW-BS | 6" x 7ga. x 30' | 12" Sq. x 1" | 11.5"/11.25-12.75" | 1.25" | 12.44" SQ x 6.15" | 50.8 | 35.7 | 25.3 | 17.9 | 12.4 | 8.2 | 4.9 | 2.4 | 525 lbs. (238kg) | 457 lbs. (207kg) |

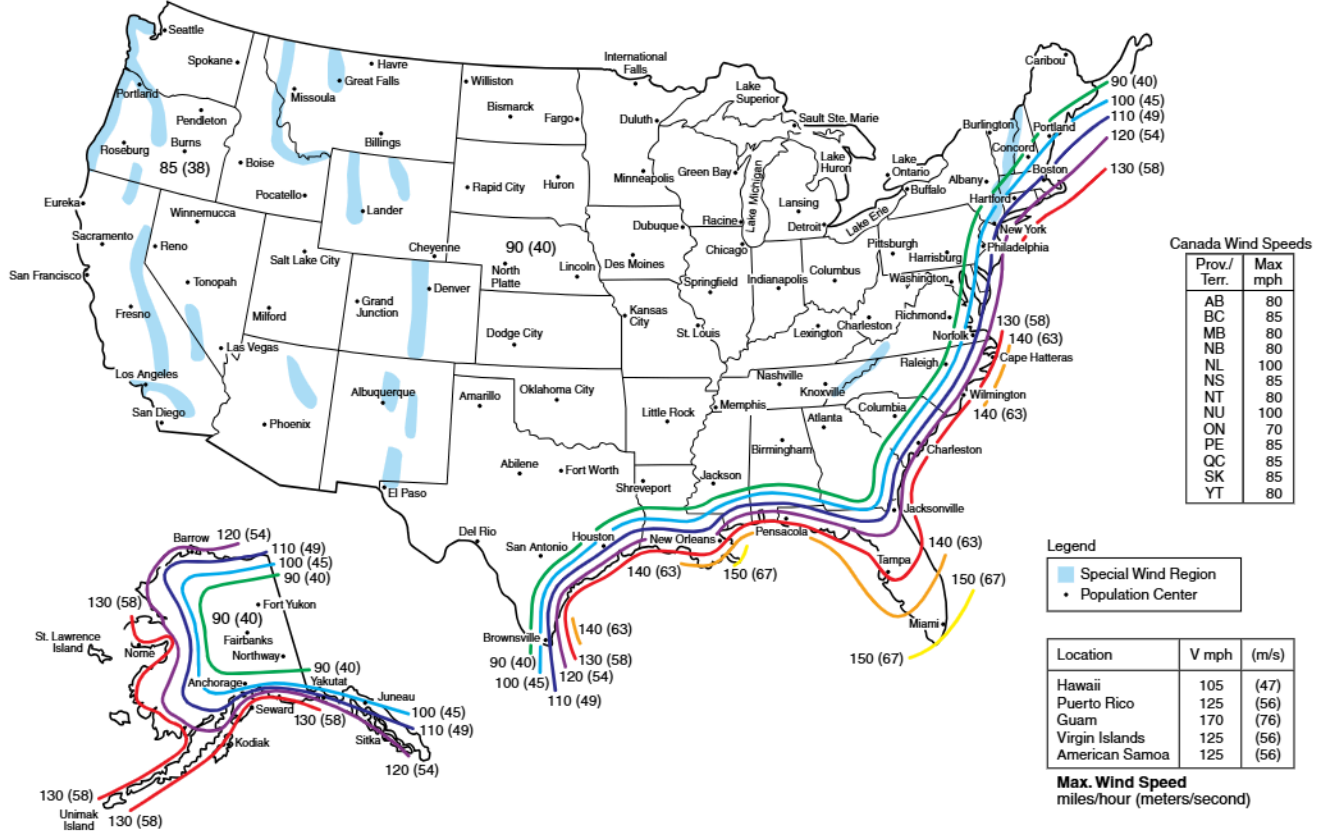
NOTE: Hanging signs, banners and flags on poles changes the EPA rating and increases vibration. The EPA ratings data provided does not allow for this added stress which could result in pole or luminaire failure.
 * Includes an internal 5/16" steel reinforced sleeve welded inside the bottom 24" of the pole as well as a reinforcement welded around the hand hole for added strength.



Hanging signs, banners and flags on light poles change the EPA rating and increase vibration. The EPA ratings data provided on this guide does not allow for this added stress, which could result in pole or fixture failure.

Crown-Weld® Straight Square Steel Poles

This map indicates approximate maximum wind zones throughout the U.S. Base wind velocities are established using a 50-year recurring mean. The EPA rating of the pole must be equal to or greater than that of the luminaire(s), taking into consideration the wind conditions at the job site. It is the customer's responsibility to carefully select poles and associated accessories based upon proper mounting configurations and wind loading in area where the installation will occur.



Field-Installed Accessories

Vibration Dampeners

- SSS-ACC-VIB-DMPNR-10-15FT (for 10'-15' poles)
- SSS-ACC-VIB-DMPNR-16-20FT (for 16'-20' poles)
- SSS-ACC-VIB-DMPNR-21-25FT (for 21'-25' poles)
- SSS-ACC-VIB-DMPNR-26-30FT (for 26-30' poles)
- Chain encased in plastic tubing used to minimize the effects caused by wind-induced Aeolian vibration

FEATURES & SPECIFICATIONS

INTENDED USE — Typical applications include corridors, lobbies, conference rooms and private offices.

CONSTRUCTION — Galvanized steel mounting/plaster frame; galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by torsion springs.

Vertically adjustable mounting brackets with commercial bar hangers provide 3-3/4" total adjustment.

Two combination 1/2"-3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 (4 in, 4 out). No. 12 AWG conductors, rated for 90°C.

Accommodates 12"-24" joist spacing.

Passive cooling thermal management for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.

Max ceiling thickness 1-1/2".

OPTICS — LEDs are binned to a 3-step MacAdam Ellipse; 80 CRI minimum. 90 CRI optional.

LED light source concealed with diffusing optical lens.

General illumination lighting with 1.0 S/MH and 55° cutoff to source and source image.

Self-flanged anodized reflectors in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.

Controls (Optional) —

- Luminaire can be equipped with interface for nLight wired, allowing it to communicate over an nLight network. Couple with nLight-enabled sensors, power packs, or WallPods using CAT-5 cabling to create an nLight Control Zone. Link Control Zone to a Gateway directly or via a Bridge for remote status monitoring and control using SensorView software.

- Luminaire can be equipped with interface for nLight Air, allowing it to communicate over the wireless nLight control platform. Can be paired to other luminaires and wall switches through CLAIRITY+, a mobile app, which allows individual fixture control.

UGR — UGR is zero for fixtures aimed at nadir with a cut-off equal to or less than 60deg, per CIE 117-1996 Discomfort Glare in Interior Lighting.

ELECTRICAL — Multi-volt (120-277V, 50/60Hz) 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.

0-10V dimming fixture requires two (2) additional low-voltage wires to be pulled.

LUMEN MAINTENANCE — 70% lumen maintenance at 60,000 hours. L70/60,000 hours

LISTINGS — Certified to US and Canadian safety standards. Wet location standard (covered ceiling). IP55 rated. Drivers are RoHS compliant

GOVERNMENT PROCUREMENT — BAA — Product with the BAA option qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product with the BAA option also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA — Build America Buy America: Product with the BAA option also qualifies as produced in the United States under the definitions of the Build America, Buy America Act.

Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY — 5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed.

Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

Specifications subject to change without notice.

PERFORMANCE DATA

| LDN6 3500K AR LSS 80CRI | | | |
|-------------------------|--------|---------|------|
| Nominal Lumens | Lumens | Wattage | Lm/W |
| 500 | 527.9 | 5.8 | 90.5 |
| 750 | 758.1 | 8.9 | 85.1 |
| 1000 | 950.1 | 10.4 | 91.0 |
| 1500 | 1514 | 17.5 | 86.4 |
| 2000 | 2006 | 22.5 | 89.1 |
| 2500 | 2504 | 28.3 | 88.6 |
| 3000 | 3021 | 34.8 | 86.9 |
| 4000 | 4008 | 44.3 | 90.6 |
| 5000 | 4975 | 57.7 | 86.3 |

Notes

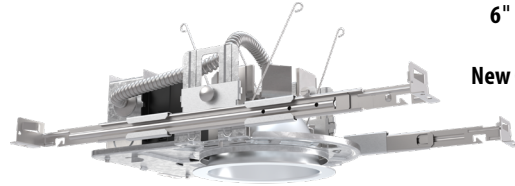
- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.



| |
|----------------|
| Catalog Number |
| Notes |
| Type |

LDN6 STATIC WHITE

6" Open and Wallwash LED
Non-IC
New Construction Downlight

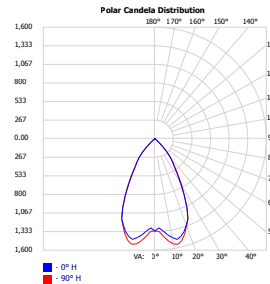


Open Trim

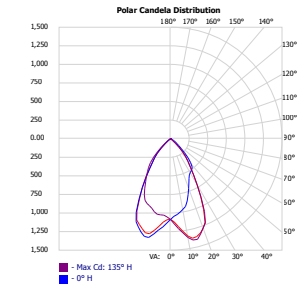


Wallwash Trim

DISTRIBUTIONS



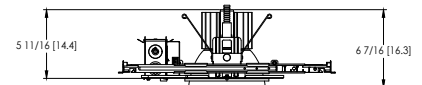
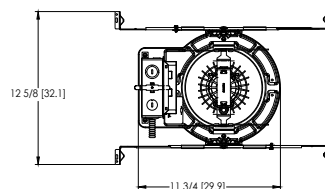
Open



Wallwash

DIMENSIONS

LDN6 500-3000 Lumens



Aperture: \varnothing 6-1/4" [15.9]
Ceiling Cutout: \varnothing 7-1/8" [18.1] Self-flanged
Overlap Trim: \varnothing 7-1/2" [19.1]

See page 4 for other fixture dimensions

ORDERING INFORMATION

Lead times will vary depending on options selected. Consult with your sales representative.

Example: LDN6 35/15 L06 AR LSS MVOLT EZ10

| LDN6 Series | Color temperature | Lumens ‡ | Trim Style | Trim Color | Trim Finish | Flange Color ‡ | Voltage |
|---------------|---|--|-------------------------------|--|--|---|--|
| LDN6 6" round | 27/ 2700K
30/ 3000K
35/ 3500K
40/ 4000K
50/ 5000K | 05 500 lumens
07 750 lumens
10 1000 lumens
15 1500 lumens
20 2000 lumens
25 2500 lumens
30 3000 lumens
40 4000 lumens
50 5000 lumens | L06 Downlight
LW6 Wallwash | AR Clear
WR ‡ White
BR ‡ Black
TCPC ‡ Custom painted trim
TRALTBD ‡ RAL painted trim | LSS Semi-specular
LD Matte diffuse
LS Specular | TRW White painted flange
TRBL Black painted flange
FCPC Custom painted flange only
FRALTBD RAL painted flange only | MVOLT Multi-volt
120 120V
277 277V
347 ‡ 347V |

| Driver | Emergency ‡ | Control Input ‡ | Options |
|---|---|--|---|
| GZ10 0-10V driver dims to 10% | (blank) No Emergency Needed | (blank) No Control Input Needed | HAO ‡ High ambient option (40°C) |
| GZ1 0-10V driver dims to 1% | EL Battery pack (10W constant power), non-T20 compliant, integral test switch | SSAIR Wireless standalone embedded control by SensorSwitch | CP ‡ Chicago Plenum |
| D10 Minimum dimming 10% driver for use with SSAIR | ELR Battery pack (10W constant power), non-T20 compliant, remote test switch | NPP16D nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). | RRL___ RELOC®-ready luminaire connectors enable a simple and consistent factory installed option across all ABL luminaire brands. Refer to RRL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC12S. |
| D1 Minimum dimming 1% driver for use with SSAIR | ELSD Self-diagnostic battery pack (10W constant power), non-T20 compliant, integral test switch | NPP16DER nLight® network power/relay pack with 0-10V dimming for non-eldoLED drivers (GZ10, GZ1). ER controls fixtures on emergency circuit. | BAA Buy America(n) Act and/or Build America Buy America Qualified |
| EZ1 0-10V eldoLED driver with smooth and flicker-free deep dimming performance down to 1% | ELRSD Self-diagnostic battery pack (10W constant power), non-T20 compliant, remote test switch | NPS80EZ nLight® dimming pack controls 0-10V eldoLED drivers (EZ1). | 90CRI High CRI (90+) |
| EDAB eldoLED DALI SOLDRIIVE dim to dark | E10WCP Battery pack (10W constant power), T20 compliant, integral test switch | NPS80EZER nLight® dimming pack controls 0-10V eldoLED drivers (EZ1). ER controls fixtures on emergency circuit. | SF ‡ Single fuse |
| | E10WCPRP Battery pack (10W constant power), T20 compliant, remote test switch | N80 nLight™ Lumen Compensation | |
| | E10WRSTAR Emergency battery pack, 10W with remote test switch and Iota STAR technology | NLTAIR2 nLight® Air enabled | |
| | | NLTAIRER2 nLight® AIR Dimming Pack Wireless Controls. Controls fixtures on emergency circuit, not available with battery pack options | |
| | | NLTAIREM2 nLight® AIR Dimming Pack Wireless Controls. UL924 Emergency Operation, via power interrupt detection. Available with battery pack options. | |

‡ Option Value Ordering Restrictions

| Option value | Restriction |
|--|--|
| Lumens | Overall height varies based on lumen package; refer to dimensional chart. |
| WR, BR | Not available with finishes. |
| 347 | Not available with emergency options. |
| SF | Must specify voltage 120V or 277V. |
| TRW, TRBL | Available with clear (AR) reflector only. |
| EL, ELR, ELSD, ELRSD, E10WCP, E10WCPRP | 12.5" of plenum depth or top access required for battery pack maintenance. |
| NPP16D, NPP16DER, NPS80EZ, NPS80EZER | Specify voltage. ER for use with generator supply EM power. Will require an emergency hot feed and normal hot feed. See UL 924 Sequence of Operation table. |
| N80 | Fixture begins at 80% light level. Must be specified with NPS80EZ or NPS80EZ ER. Only available with EZ1 drivers. |
| NLTAIR, NLTAIR2, NLTAIRER2, NLTAIREM2 | Not available with CP, NPS80EZ, NPS80EZER, NPP16D, NPP16DER or N80 options. Not recommended for metal ceiling installations. |
| HAO | Fixture height is 6.5" for all lumen packages with HAO. |
| CP | Must specify voltage for 3000lm and above. 5000lm with marked spacing 24 L x 24 W x 14 H. Not available with emergency battery pack option. |
| JOT | Must specify D10 or D1 driver. Not available with nLight options. Not available with CP. Not recommended for metal ceiling installation. Not for use with emergency backup power systems other than battery packs. |
| Reloc® Options | Refer to RRL specification sheet on acuitybrands.com for further details. |
| RRLAE | Commercial fixtures should disconnect the TSPL before unplugging the RRL so it does not go into discharge mode. |
| RRLC12S | RRLC12S option is to be used with the OnePass OCU, OCS, OD, OFC and OD for 0-24V integrated single-circuit or 0-10V low voltage controls applications. Not available with integral dimming sensors. |
| TRALTBD, FRALTBD | RALTBD for pricing only. Replace with applicable RAL number and finish when ready to order. See the RAL BROCHURE for available color options. Not available with TCPC or FCPC |
| TCPC, FCPC | CPC options for pricing only. Custom color chip needs to be sent in to your Customer Resolution specialist before order can be processed. Click HERE for more details. Not available with TRAL or FRAL |
| E10WRSTAR | Not available with wet location, EC1, EC6, QDS, CP, 347V, NPS80EZ ER, NLTAIRER2, NLTAIREM2, ALO3 & ALO4 w/DALI, OR 2000-4500 lumens w/SSAIR. Top access installation or 17.5" plenum clearance required for roomside installation. Not available with integral test switch |

| Accessories: Order as separate catalog number. | | |
|--|---|--|
| EAC ISSM 375 | Compact interruptible emergency AC power system | SCA6 Sloped Ceiling Adapter. Degree of slope must be specified (5D, 10D, 15D, 20D, 25D, 30D). Ex: SCA6 10D |
| EAC ISSM 125 | Compact interruptible emergency AC power system | |
| GRA68 JZ | Oversized trim ring with 8" outside diameter | |



Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details

(Maximum order quantity for design select lead times is 112.)

Emergency Battery Pack Options - Field Installable

| Battery Model Number | Wattage | Runtime (Minutes) | Lumen Output* @ 120 Lumens/Watt | Other |
|-------------------------------------|---------|-------------------|---------------------------------|--|
| ILB CP07 2H A | 7W | 120 | 840 | Storm Shelter / 2 Hour Runtime |
| ILB CP10 A | 10W | 90 | 1200 | |
| ILBLP CP10 HE SD A+ | 10W | 90 | 1200 | Title 20, Self Diagnostic |
| ILBLP CP15 HE SD A+ | 15W | 90 | 1800 | Title 20, Self Diagnostic |
| ILB CP20 HE A | 20W | 90 | 2400 | Title 20 |
| ILB CP20 HE SD A | 20W | 90 | 2400 | Title 20, Self Diagnostic |
| ILBHI CP10 HE SD A+ | 10W | 90 | 1200 | 347-480V AC Input, Title 20, Self Diagnostic |
| ILBHI CP15 HE SD A+ | 15W | 90 | 1800 | 347-480V AC Input, Title 20, Self Diagnostic |

All the above are UL Listed products that are certified for field install external/remote to the fixture.

*Minimum delivered lumen output to assist in product selection for increased fixture mounting height.

The CP10 delivered emergency illumination outperforms legacy 1400 lumen fluorescent emergency ballast.

Please contact us at techsupport@iotaengineering.com for any Emergency Battery related questions.

COMPATIBLE 0-10V WALL-MOUNT DIMMERS

| MANUFACTURER | PART NO. | POWER BOOSTER AVAILABLE |
|----------------------------|---|-------------------------|
| Lutron® | Diva® DVTV | |
| | Diva® DVSTCTV | |
| | Nova T® NTFTV | |
| | Nova® NFTV | |
| Leviton® | AWSMT-7DW | CN100 |
| | AWSMG-7DW | PE300 |
| | AMRMG-7DW | |
| | Leviton Centura Fluorescent Control System | |
| | IllumaTech® IP7 Series | |
| Synergy® | ISD BC | RDMFC |
| | SLD LPSCS | |
| | Digital Equinox (DEQ BC) | |
| Douglas Lighting Controls | WPC-5721 | |
| Entertainment Technology | Tap Glide TG600FAM120 (120V) | |
| | Tap Glide Heatsink TGH1500FAM120 (120V) | |
| | Oasis OA2000FAMU | |
| Honeywell | EL7315A1019 | EL7305A1010 (optional) |
| | EL7315A1009 | |
| HUNT Dimming | Preset slide: PS-010-IV and PS-010-WH | |
| | Preset slide: PS-010-3W-IV and PS-010-3W-WH | |
| | Preset slide, controls FD-010: PS-IFC-010-IV and PS-IFC-010-WH-120/277V | |
| | Preset slide, controls FD-010: PS-IFC-010-3W-IV and PS-IFC-010-3W-WH-120/277V | |
| | Remote mounted unit: FD-010 | |
| Lehigh Electronic Products | Solitaire | PBX |
| PDM Electrical Products | WPC-5721 | |
| Starfield Controls | TR61 with DALI interface port | RT03 DALI.net Router |
| WattStopper® | LS-4 used with LCD-101 and LCD-103 | |



This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control capability with simple commissioning when used with Acuity Brands controls products.

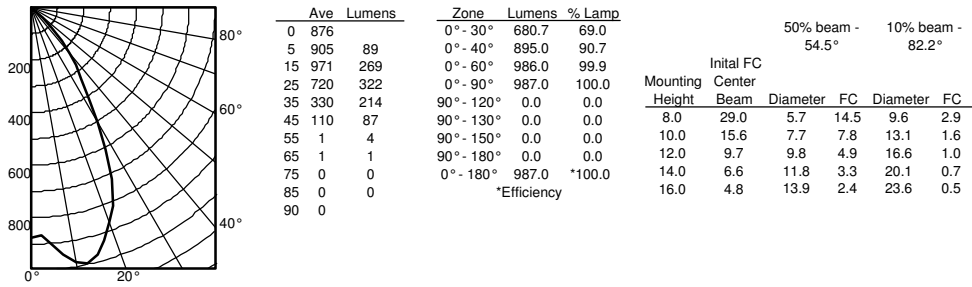
All configurations of this luminaire are calibrated and tested to meet the Acuity Brands' specification for chromatic consistency - including color rendering, color fidelity and color temperature tolerance around standard CIE chromaticity coordinates.

To learn more about A+, visit www.acuitybrands.com/aplus.

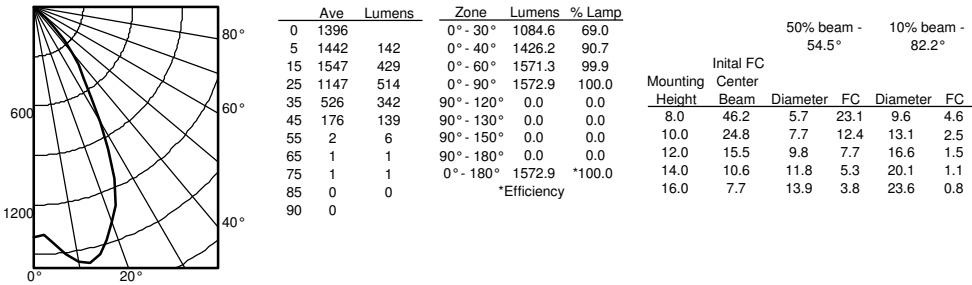
PHOTOMETRY

Distribution Curve Distribution Data Output Data Illuminance Data at 30" Above Floor for a Single Luminaire

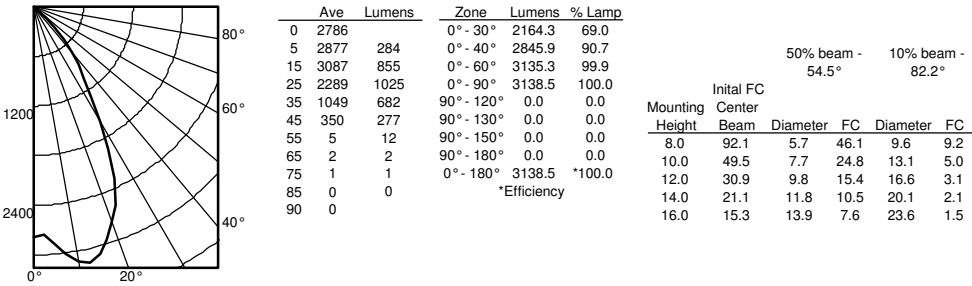
LDN6 35/10 L06AR, input watts: 10.44, delivered lumens: 987.10, LM/W = 94.54, spacing criterion at 0= 1.02, test no. ISF 30716P262.



LDN6 35/15 L06AR, input watts: 17.52, delivered lumens: 1572.9, LM/W = 89.77, spacing criterion at 0= 1.02, test no. ISF 30716P265.



LDN6 35/30 L06AR, input watts: 34.75, delivered lumens: 3138.5, LM/W = 90.31, spacing criterion at 0= 1.02, test no. ISF 30716P274.



HOW TO ESTIMATE DELIVERED LUMENS IN EMERGENCY MODE

Use the formula below to estimate the delivered lumens in emergency mode

Delivered Lumens = 1.25 x P x LPW

P = Output power of emergency driver. P = 10W

LPW = Lumen per watt rating of the luminaire. This information is available on the ABL luminaire spec sheet.

The LPW rating is also available at Designlight Consortium.

Notes

- Tested in accordance with IESNA LM-79-08.
- Tested to current IES and NEMA standards under stabilized laboratory conditions.
- CRI: 80 typical.

| LUMEN OUTPUT MULTIPLIERS - FINISH | | | |
|-----------------------------------|------------|------------|------------|
| | Clear (AR) | White (WR) | Black (BR) |
| Specular (LS) | 1.0 | N/A | N/A |
| Semi-specular (LSS) | 0.950 | N/A | N/A |
| Matte diffuse (LD) | 0.85 | N/A | N/A |
| Painted | N/A | 0.87 | 0.73 |

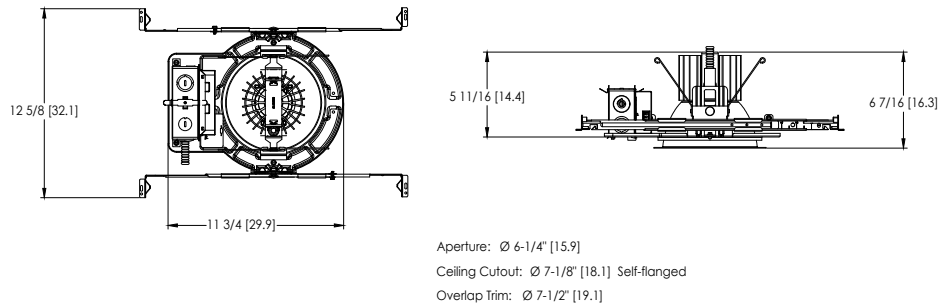
| LUMEN OUTPUT MULTIPLIERS - CRI | |
|--------------------------------|-------|
| 80 | 1.0 |
| 90 | 0.874 |

| LUMEN OUTPUT MULTIPLIERS - CCT | | | | | |
|--------------------------------|-------|-------|-------|-------|-------|
| | 2700K | 3000K | 3500K | 4000K | 5000K |
| 80CRI | 0.950 | 0.966 | 1.000 | 1.025 | 1.101 |

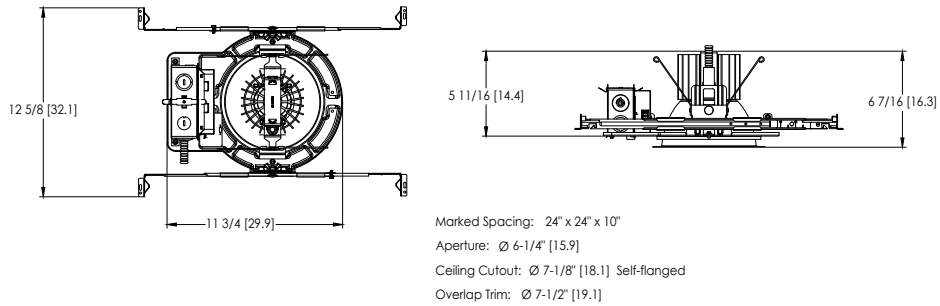
LDN6

* All dimensions are inches (centimeters) unless otherwise noted.

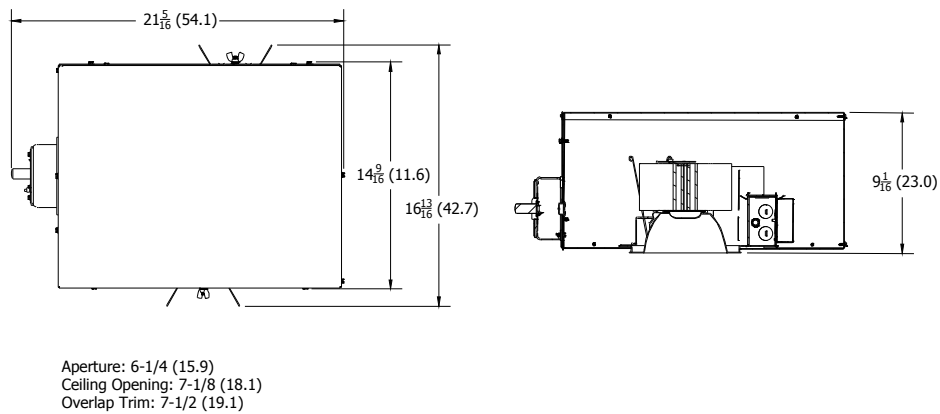
LDN6 500-3000 Lumens



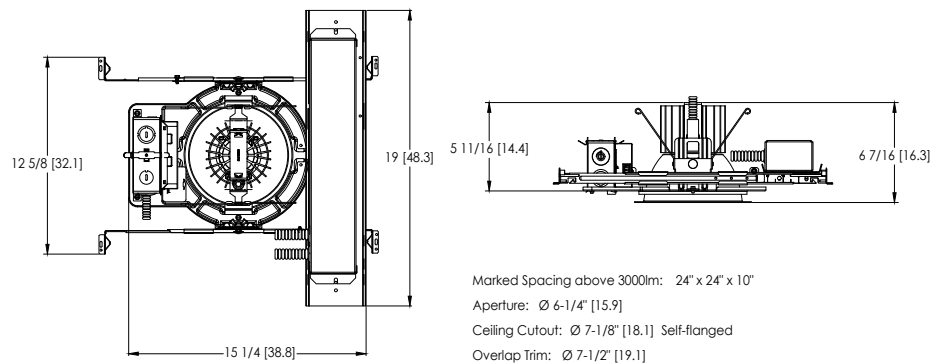
LDN6 4000-5000 Lumens



LDN6 CP



LDN6 EL





Performance You Can Count On

SensorSwitch™ offers standalone wired and wireless lighting controls solutions designed for room-based applications. Our products offer reliable performance and ease of installation.

Sensorswitch.com

Wireless Embedded Controls



1. Install the luminaires with embedded controls
2. Insert the pairing tool into the pinhole on the wall switch; press and hold any button for 6 seconds.
3. Once paired, each fixture will individually dim down to 10% brightness. All products will be fully functional.



SensorSwitch
WSXA SSA

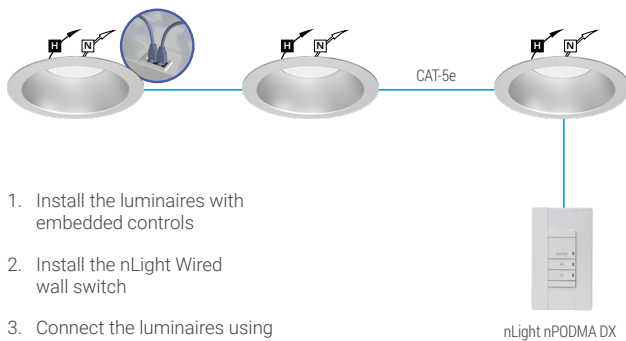


Single Lighting Controls Platform for Indoor & Outdoor Spaces

nLight® is your networked lighting controls platform, for indoor and outdoor applications, providing wired or wireless options. Scaling from room to campus-wide applications, it is the one platform that grows with your business today and tomorrow; to seamlessly address energy cost optimization, building code compliance, improved occupant comfort, and much more. nLight also interfaces with DALI®, BACnet®, DMX and additional third-party devices.

nlightcontrols.com

Wired Embedded Controls



1. Install the luminaires with embedded controls
2. Install the nLight Wired wall switch
3. Connect the luminaires using standard CAT-5e cables and the controls devices will automatically discover each other and work (plug and play)

Wireless Embedded Controls



1. Install the luminaires with embedded controls
2. Install the nLight AIR battery-powered wall switch
3. Use CLAIRITY+ mobile app to pair the fixtures with the wall switch and if desired, customize the sensor settings

UL924 Sequence of Operation

The below information applies to all nLight AIR devices with an EM option.

- EM devices will remain at their high-end trim and ignore wireless lighting control commands, unless a normal-power-sensed (NPS) broadcast is received at least every 8 seconds.
- Using the CLAIRITY+ mobile app, EM devices must be associated with a group that includes a normal power sensing device to receive NPS broadcasts.
- Only non-emergency rPP20, rLSXR, rSBOR, rSDGR, and nLight AIR luminaires with version 3.4 or later firmware can provide normal power sensing for EM devices. See specification sheets for control devices and luminaires for more information on options that support normal power sensing.

Project:

Location:

Fixture Type:

Catalog Number:



AVAILABLE FINISHES:



Pandora

WS-W30507

PRODUCT DESCRIPTION

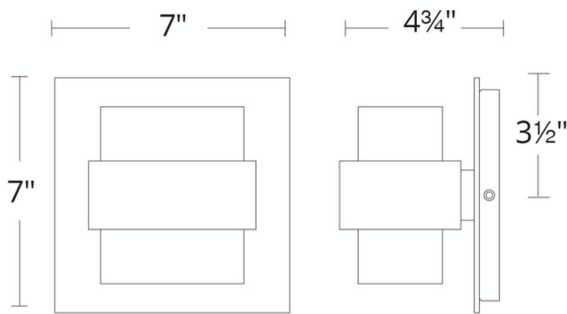
A popular understated design with an updated finish, Pandora brings sculptural sophistication and high-powered energy-efficient LEDs to your overall lighting scheme, whether you mount it inside or out. With its tiered, minimalist form and two points of illumination, you'll never regret opening this box.

FEATURES

- ACLED driverless technology
- Glass diffuser
- Up and down illumination

SPECIFICATIONS

| | |
|---------------------|--|
| Rated Life | 50,000 Hours |
| Standards | ETL, cETL, Wet Location Listed, IP65 |
| Input | 120 VAC, 50/60Hz |
| Dimming | ELV |
| Mounting | Can be mounted on wall vertically or upside down |
| Color Temp | 3000K |
| CRI | 90 |
| Construction | Aluminum hardware, glass diffuser |



WS-W30507

| Model & Size | Color Temp | Finish | LED Watts | LED Lumens | Delivered Lumens |
|--------------|------------|-----------------------|-----------|------------|------------------|
| WS-W30507 7" | 3000K | BK Black | 13.1W | 467 | 310 |
| | 3000K | ORB Oil Rubbed Bronze | 13.1W | 467 | 310 |

Example: **WS-W30507-ORB**

For custom requests please contact customs@modernforms.com



Project:

Location:

Fixture Type:

Catalog Number:

AVAILABLE FINISHES:



Pandora

WS-W30509

PRODUCT DESCRIPTION

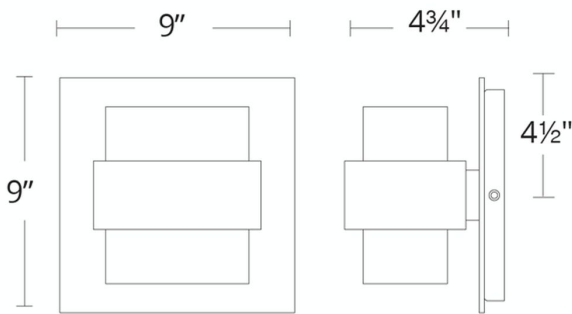
A popular understated design with an updated finish, Pandora brings sculptural sophistication and high-powered energy-efficient LEDs to your overall lighting scheme, whether you mount it inside or out. With its tiered, minimalist form and two points of illumination, you'll never regret opening this box.

FEATURES

- ACLED driverless technology
- Glass diffuser
- Up and down illumination

SPECIFICATIONS

| | |
|---------------------|--|
| Rated Life | 50,000 Hours |
| Standards | ETL, cETL, Wet Location Listed, IP65 |
| Input | 120 VAC, 50/60Hz |
| Dimming | ELV |
| Mounting | Can be mounted on wall vertically or upside down |
| Color Temp | 3000K |
| CRI | 90 |
| Construction | Aluminum hardware, glass diffuser |



WS-W30509

| Model & Size | Color Temp | Finish | LED Watts | LED Lumens | Delivered Lumens |
|--------------|------------|-----------------------|-----------|------------|------------------|
| WS-W30509 9" | 3000K | BK Black | 22.1W | 884 | 591 |
| | 3000K | ORB Oil Rubbed Bronze | 22.1W | 884 | 591 |

Example: **WS-W30509-ORB**

For custom requests please contact customs@modernforms.com



Project:

Location:

Fixture Type:

Catalog Number:

AVAILABLE FINISHES:



Pandora

WS-W30511

PRODUCT DESCRIPTION

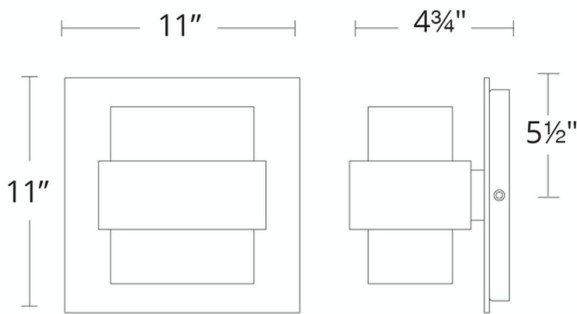
A popular understated design with an updated finish, Pandora brings sculptural sophistication and high-powered energy-efficient LEDs to your overall lighting scheme, whether you mount it inside or out. With its tiered, minimalist form and two points of illumination, you'll never regret opening this box.

FEATURES

- ACLED driverless technology
- Glass diffuser
- Up and down illumination

SPECIFICATIONS

| | |
|--------------|--|
| Rated Life | 50,000 Hours |
| Standards | ETL, cETL, Wet Location Listed, IP65 |
| Input | 120 VAC, 50/60Hz |
| Dimming | ELV |
| Mounting | Can be mounted on wall vertically or upside down |
| Color Temp | 3000K |
| CRI | 90 |
| Construction | Aluminum hardware, glass diffuser |



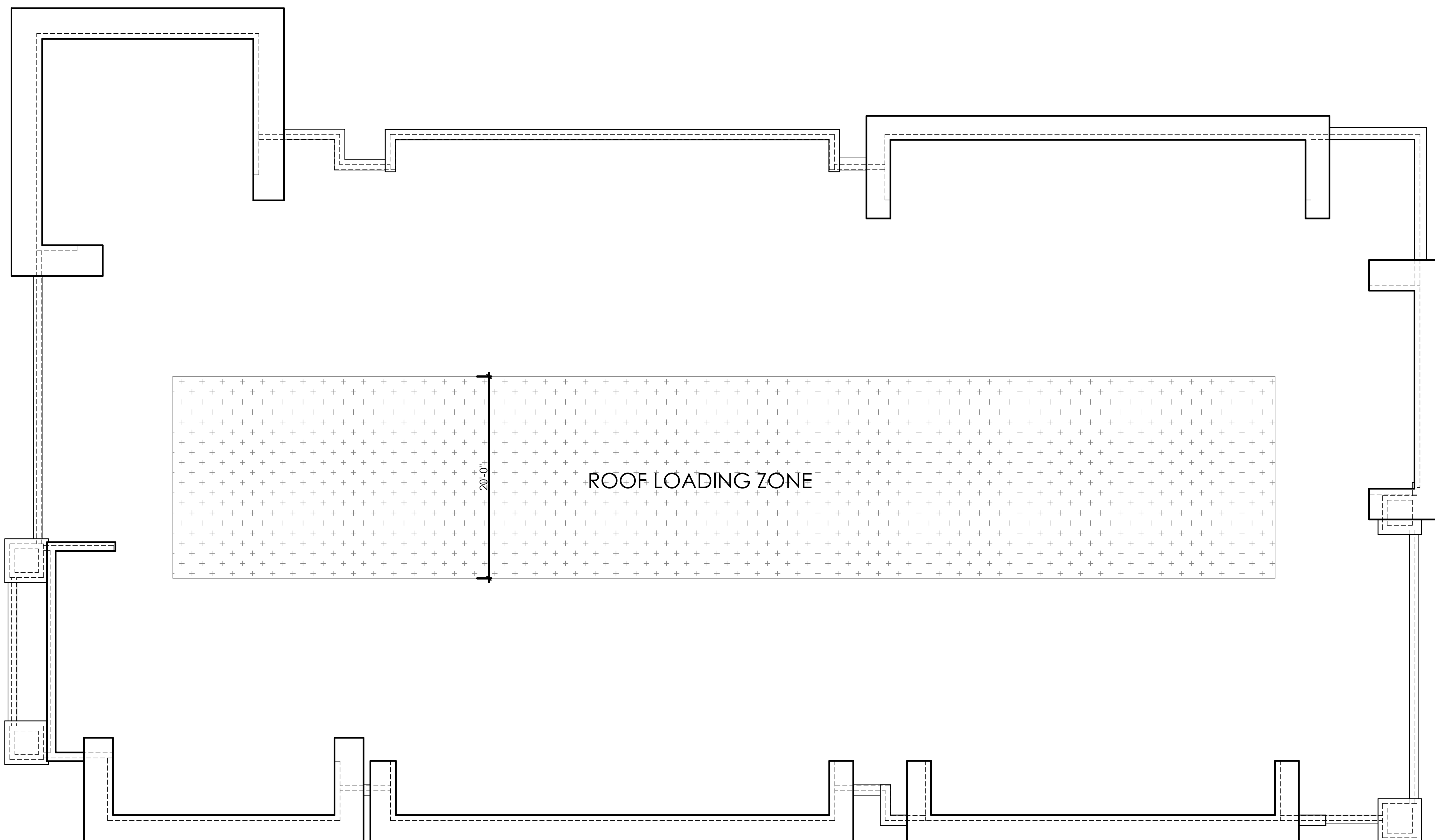
WS-W30511

| Model & Size | Color Temp | Finish | LED Watts | LED Lumens | Delivered Lumens |
|---------------|----------------|-----------------------------------|------------|--------------|------------------|
| WS-W30511 11" | 3000K
3000K | BK Black
ORB Oil Rubbed Bronze | 31W
31W | 1089
1089 | 694
694 |

Example: **WS-W30511-ORB**

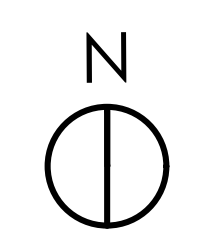
For custom requests please contact customs@modernforms.com

[x:\shellplan.dwg] [24x36] [2025] 250-284 - Rockwall, TX - Creekside Commons (Strip Center)\01 Preliminary\Elevations\roof.dwg Apr. 07, 2026 - 11:32am



01 ROOF PLAN

3/16" = 1'-0"



CAUTION NOTICE TO CONTRACTORS
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2026.
WITNESS OUR HANDS, this ____ day of _____, 2026.

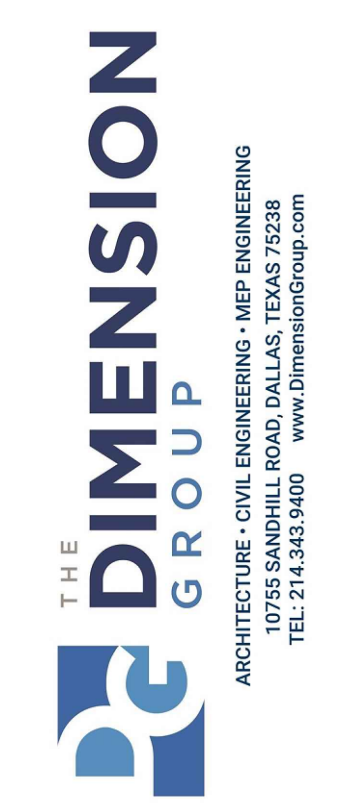
Planning & Zoning Commission, Chairman Director of Planning and Zoning

ROOF PLAN
LOT 19, BLOCK A, CREEKSIDE COMMONS ADDITION
NWC STATE HIGHWAY 205 & F.M. 549
A 1.412 ACRE TRACT OF LAND IN THE WILLIAM W. FORD SURVEY, ABST. NO 80
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT #SP2026-010
March 13, 2026

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ROOF PLAN
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NWC STATE HIGHWAY 205 & FM 549
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